

# ATTACHMENTS

## Ordinary Council Meeting

28 May 2019

### Part 2 of 3

Items 10.3.2 - 10.3.7

# ATTACHMENTS TO AGENDA ITEMS

Ordinary Council - 28 May 2019

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D-19-33917



1/15 Roydhouse St,  
Subiaco WA 6008  
08 6380 1877  
tom@hillam.com.au

hillam.com.au

01/04/2019

**Mr Cameron Howell – Senior Statutory Planning Officer,  
City of South Perth,  
Civic Centre,  
Cnr Sandgate Street & South Terrace,  
South Perth WA 6151**

Dear Cameron,

**RE: Application to Extend Development Approval Lot(s) 7-20 (Nos. 3/74 - 7/74) Mill Point Road, South Perth - Temporary Sales Display Suite & Associated Car Parking, Landscaping and Signage.**

Following the refusal of our development application for a mixed use 29 storey tower by the Metro Central Joint Development Application on 25 June 2018 and the subsequent appeal to the State Administrative Tribunal (SAT), the applicant kindly requests for the City to extend the current Development Approval for the temporary sales display suite located on site. The developer will continue to market the project this year and is confident the SAT appeal will lead to a development approval in the coming months.

On behalf of our client, Edge Visionary Living we present for your consideration the following documents forming our request to extend the current Development Approval by 18 months:

- Signed application form
- Cheque for \$295 payable to the City of South Perth
- Copy of the current Certificate of Titles
- Original Notice of Determination of Application for Planning Approval.
- Original stamped and approved drawing set.

We trust the above and enclosed is sufficient to assess our application. Please contact us should you require additional information.

Yours Sincerely,

A handwritten signature in black ink, appearing to read 'Tom Letherbarrow', is written over a horizontal line.

**Tom Letherbarrow**  
Hillam Architects

<u>distribution</u>	<u>Cameron Howell</u>	<u>City of South Perth</u>
	<u>William Packard</u>	<u>Edge Visionary Living</u>

**File Ref:** MI3/74V2  
**ID No.** 11.2015.268.3  
**Processing Officer:** Mr E J Dybdahl

*Planning and Development Act 2005*  
*Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clauses 70 & 86(4)*  
Metropolitan Region Scheme | City of South Perth Town Planning Scheme No. 6

### Notice of determination on application for development approval

<b>Owner:</b> Edge Holdings No 6 Pty Ltd	
<b>Applicant:</b> Edge Holdings No 6 Pty Ltd	
<b>Address for correspondence:</b> 2/31 Hood Street SUBIACO WA 6008	
<b>Location:</b> 3/74 Mill Point Road SOUTH PERTH	
<b>Lot:</b> 8	<b>Plan/Diagram:</b> 12506
<b>Vol. No:</b> 1581	<b>Folio No:</b> 910
<b>Application date:</b> 03 April 2018	<b>Received on:</b> 03 April 2018
<b>Date of determination:</b> 29 May 2018	
<b>Description of development:</b> AMENDMENT TO APPROVED TEMPORARY SALES OFFICE – EXTENSION TO VALIDITY OF APPROVAL ( <b>COUNCIL DETERMINATION</b> )	

The application for development approval is:  **Approved** subject to the following conditions  
 Refused for the following reason(s)

#### CONDITIONS:

1. This approval pertains to the extension of the validity of approval for previously approved (application numbers 11.2015.268.1 & 11.2015.268.2) temporary structures including the 'sales office', 'viewing tower', 8 car bays, signage and landscaping on the site for the purposes associated with the sale of future apartments and commercial tenancies.
2. All temporary structures including the viewing tower, sales office, car bays, signage and landscaping are to be removed from the site in their entirety no later than 12 months from the date of this determination above.
3. The operation hours of the 'sales office' and 'viewing tower' shall be limited to:
  - Monday – Friday: 4:00PM – 7:00PM
  - Saturday – Sunday: 10:00AM – 4:00PM
4. No more than six (6) visitor vehicles are permitted on the site at any one time. All employee and visitor vehicles are to be contained wholly within the site and in the car parking bays provided. Visitors are to be made aware of this prior to arrival.
5. The designated temporary visitor parking bays are to be clearly identified on site by means of a sign bearing the words "Visitor Parking" in accordance with the requirements of clause 6.3(11) of the City of South Perth Town Planning Scheme No. 6.

**Civic Centre** cnr Sandgate St & South Tce, South Perth WA 6151  
**Phone** 9474 0777 **Email** enquiries@southperth.wa.gov.au  
**www.southperth.wa.gov.au**





CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 6  
Notice of Determination of Application for Planning Approval (continued)

ID No. 11.2015.268.3

Page 2 of 2

**ADVICE NOTES:**

- (1) This is a notice of determination on application for development approval issued in accordance with the *Planning and Development Act 2005*, the *Planning and Development (Local Planning Schemes) Regulations 2015*, the *City of South Perth Town Planning Scheme No. 6*, and related policies. It is not a building permit or an approval to carry out development under any other law. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
- (2) This approval is not an authority to ignore any constraint to development on the land, which may exist through statute, regulation, contract, or on title, such as an easement or restrictive covenant. It is the responsibility of the applicant and not the City to investigate any such constraints before commencing development. This approval will not necessarily have regard to any such constraint to development.
- (3) If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of the determination, the approval will lapse and be of no further effect.
- (4) Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.
- (5) If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 14. An application must be made within 28 days of the determination.

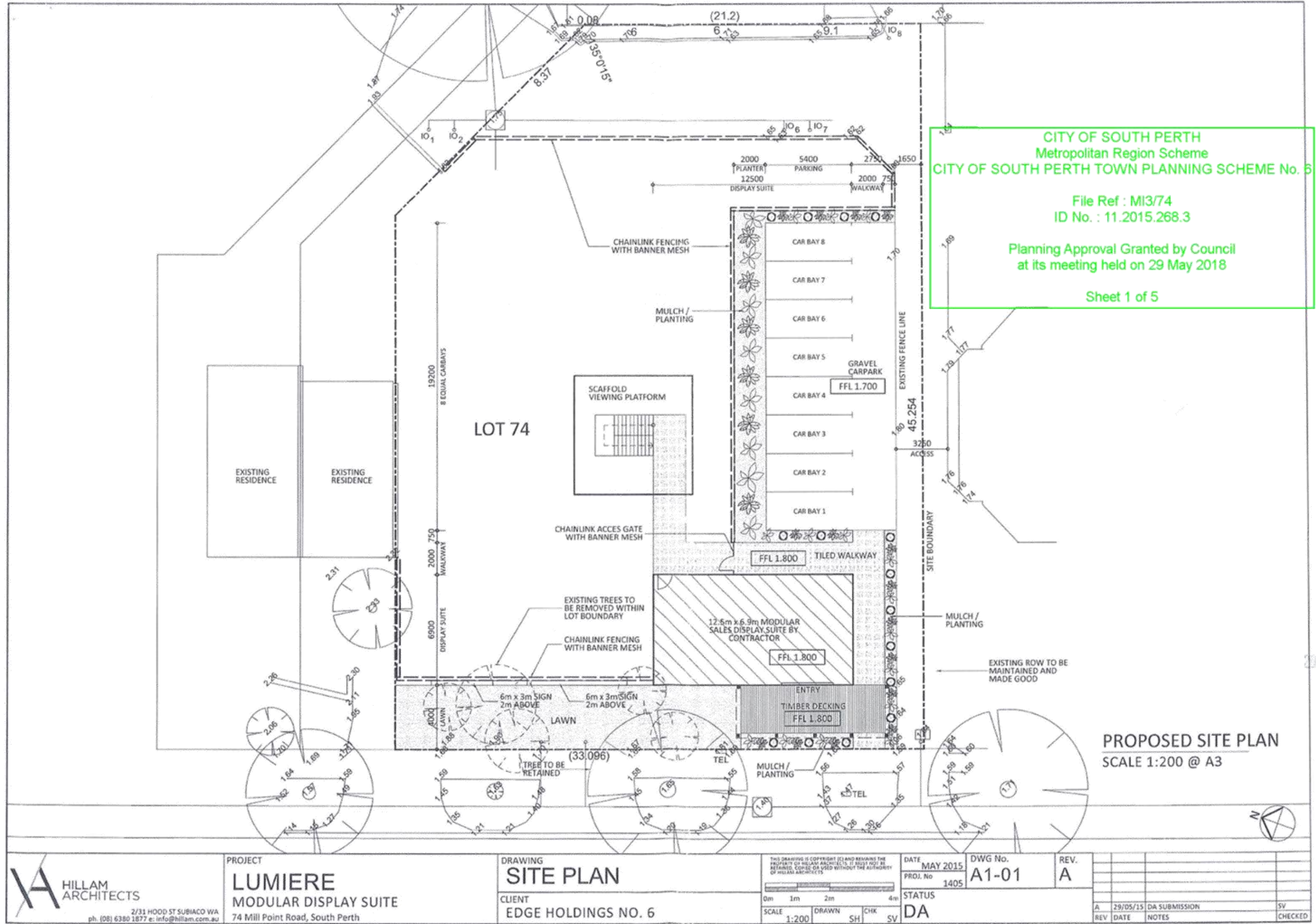
SIGNED: 

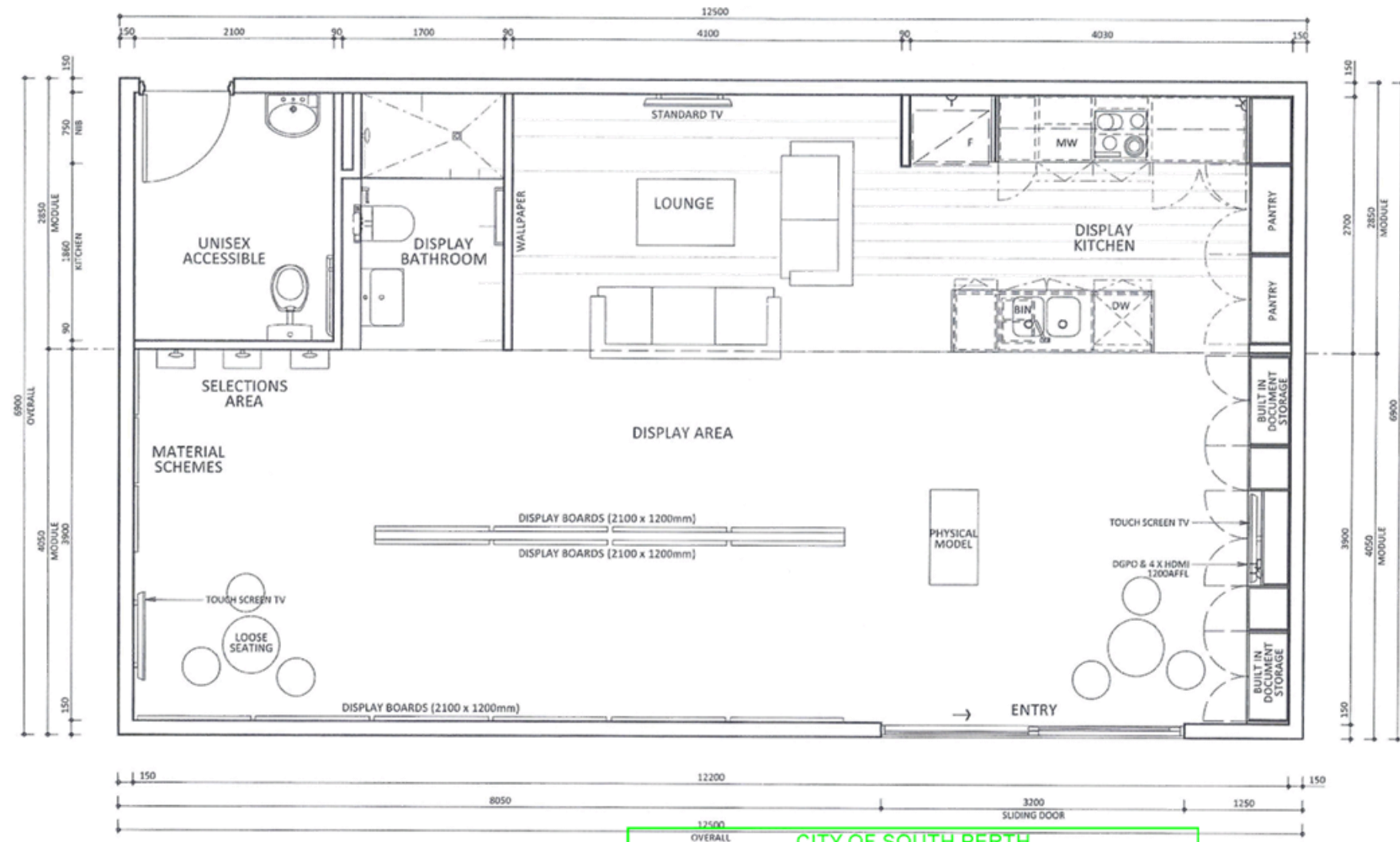
DETERMINATION DATED: 29 May 2018  
**COUNCIL DETERMINATION**

BRENDAN PHILIPPS  
STATUTORY PLANNING OFFICER, DEVELOPMENT SERVICES  
for and on behalf of the City of South Perth

NB: For enquiries relating to this determination, please contact the applicant or the processing officer.







FLOOR PLAN  
SCALE 1:50 @ A3

CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 6

File Ref : M13/74  
ID No. : 11.2015.268.3

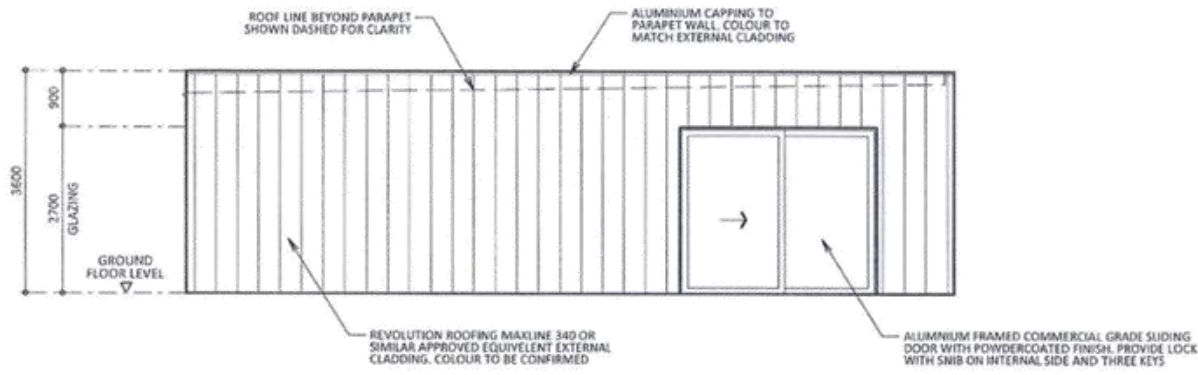
Planning Approval Granted by Council  
at its meeting held on 29 May 2018

Sheet 2 of 5

<p>2/31 HOOD ST SUBIACO WA ph. (08) 6380 1877 e. info@hillam.com.au</p>	<p>PROJECT <b>LUMIERE</b> MODULAR DISPLAY SUITE 74 Mill Point Road, South Perth</p>	<p>DRAWING <b>DISPLAY SUITE PLAN</b></p>	<p>DATE MAY 2015</p>	<p>DWG No. A2-01</p>	<p>REV. A</p>										
	<p>CLIENT EDGE HOLDINGS NO. 6</p>	<p>PROJ. No 1405</p>	<p>STATUS DA</p>	<p>SCALE 1:50</p>	<p>DRAWN SH</p>	<p>CHK SV</p>									
<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>NOTES</th> <th>SV</th> <th>CHECKED</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>29/05/15</td> <td>DA SUBMISSION</td> <td></td> <td></td> </tr> </tbody> </table>						REV	DATE	NOTES	SV	CHECKED	A	29/05/15	DA SUBMISSION		
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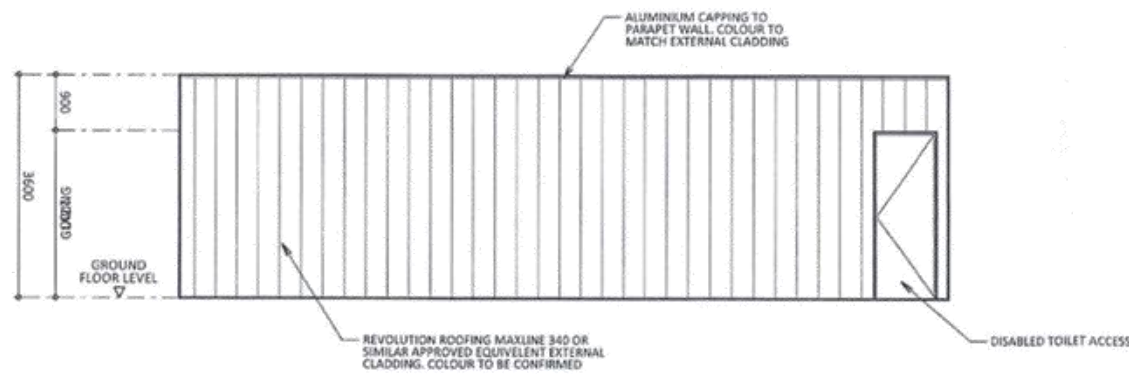
**FRONT ELEVATION**  
SCALE 1:100 @ A3

CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 6

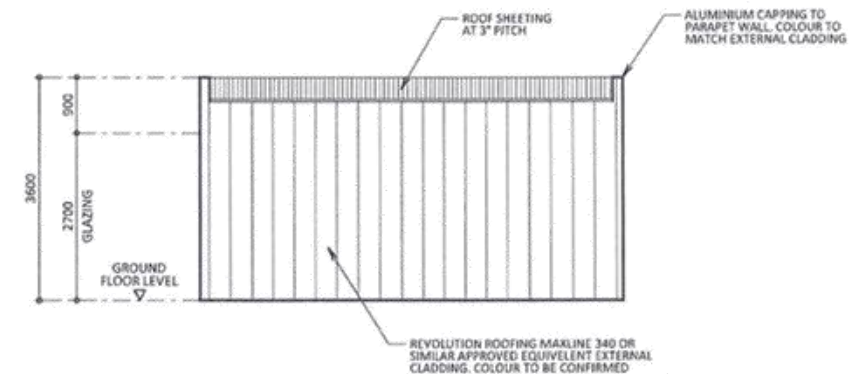
File Ref : M13/74  
ID No. : 11.2015.268.3

Planning Approval Granted by Council  
at its meeting held on 29 May 2018

Sheet 3 of 5

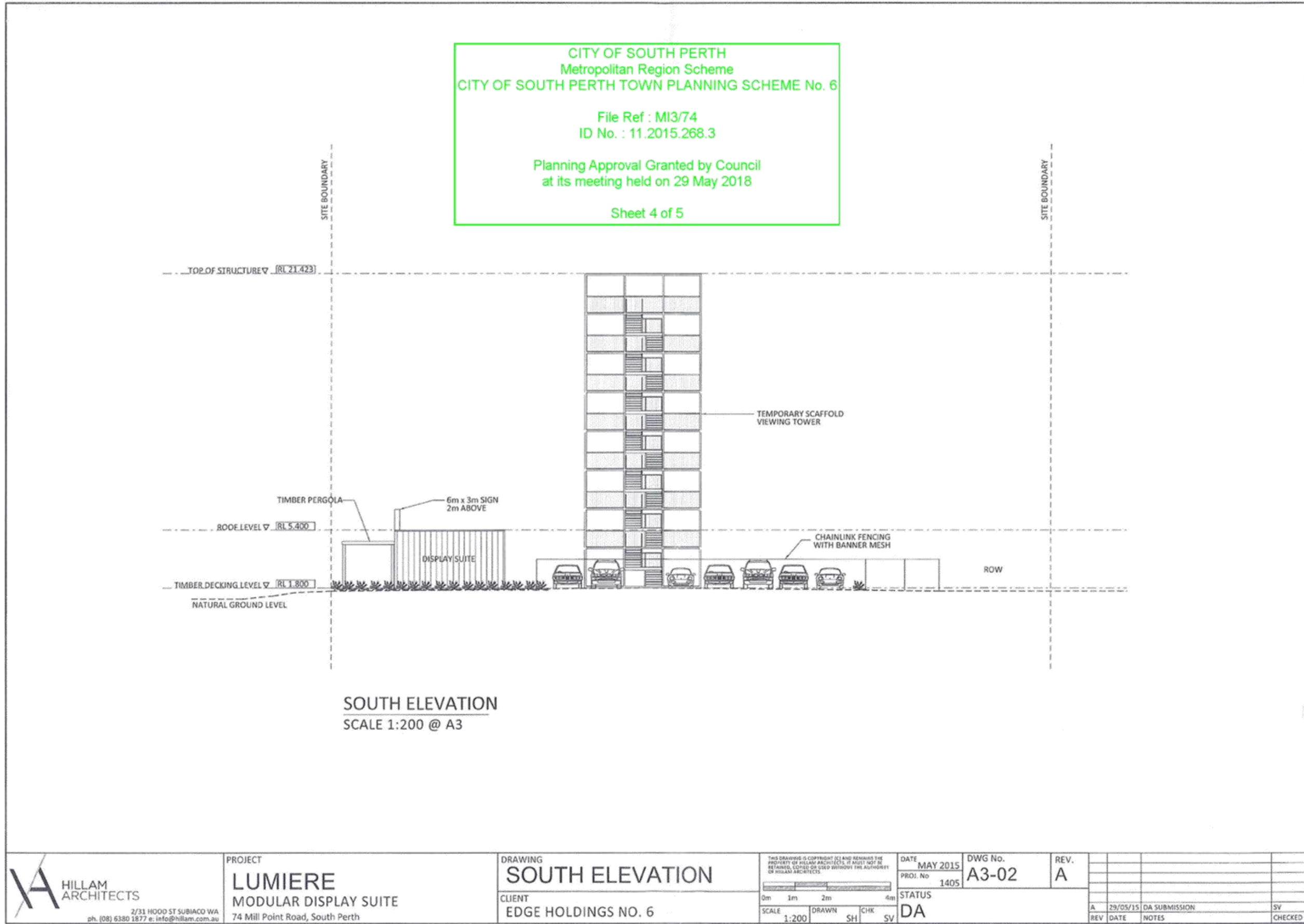


**BACK ELEVATION**  
SCALE 1:100 @ A3



**SIDE ELEVATION**  
SCALE 1:100 @ A3

 <small>2/31 HOOD ST SUBIACO WA ph. (08) 6380 1877 e. info@hillam.com.au</small>	PROJECT <b>LUMIERE</b> MODULAR DISPLAY SUITE	DRAWING <b>DISPLAY SUITE ELEVATIONS</b>	THIS DRAWING IS COPYRIGHT (C) AND REMAINS THE PROPERTY OF HILLAM ARCHITECTS. IT MUST NOT BE REPRODUCED, COPIED OR USED WITHOUT THE AUTHORITY OF HILLAM ARCHITECTS.	DATE MAY 2015	DWG No. <b>A3-01</b>	REV. A									
	CLIENT EDGE HOLDINGS NO. 6	SCALE 1:100	DRAWN SH	CHK SV	STATUS DA	PROJECT No. 1405	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <tr> <th>REV</th> <th>DATE</th> <th>NOTES</th> <th>CHECKED</th> </tr> <tr> <td>A</td> <td>29/05/15</td> <td>DA SUBMISSION</td> <td>SV</td> </tr> </table>	REV	DATE	NOTES	CHECKED	A	29/05/15	DA SUBMISSION	SV
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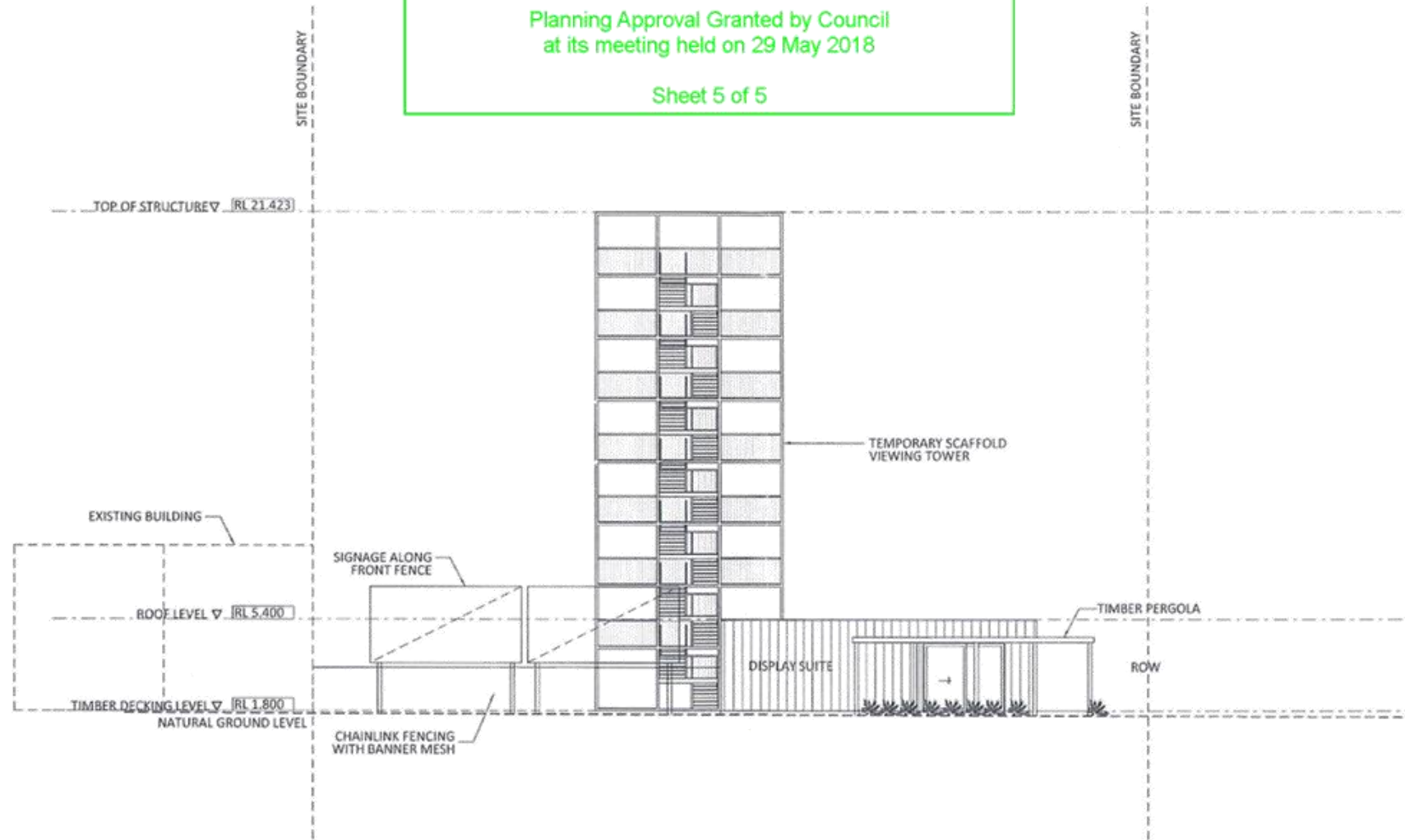


CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 6

File Ref : MI3/74  
ID No. : 11.2015.268.3

Planning Approval Granted by Council  
at its meeting held on 29 May 2018

Sheet 5 of 5



**WEST ELEVATION**  
SCALE 1:200 @ A3

 <small>2/31 HOOD ST SUBIACO WA ph. (08) 6380 1877 e: info@hillam.com.au</small>	PROJECT <b>LUMIERE</b> MODULAR DISPLAY SUITE 74 Mill Point Road, South Perth	DRAWING <b>WEST ELEVATION</b> CLIENT EDGE HOLDINGS NO. 6	<small>THIS DRAWING IS COPYRIGHT (C) AND REMAINS THE PROPERTY OF HILLAM ARCHITECTS. IT MUST NOT BE REPRODUCED, COPIED OR USED WITHOUT THE AUTHORITY OF HILLAM ARCHITECTS.</small>  SCALE 1:200 DRAWN SH CHK SV	DATE MAY 2015 PROJ. No 1405 STATUS DA	DWG No. A3-03	REV. A	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">REV</td> <td style="width: 5%;">DATE</td> <td style="width: 5%;">NOTES</td> <td style="width: 5%;">CHECKED</td> </tr> <tr> <td>A</td> <td>29/05/15</td> <td>DA SUBMISSION</td> <td>SV</td> </tr> </table>	REV	DATE	NOTES	CHECKED	A	29/05/15	DA SUBMISSION	SV
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REV	DATE	NOTES	CHECKED												



File Ref: M13/74  
ID No. 11.2015.268.2  
Processing Officer : Mr E J Dybdahl



*Planning and Development Act 2005*  
*Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clauses 70 & 86(4)*  
Metropolitan Region Scheme | City of South Perth Town Planning Scheme No. 6

### Notice of determination on application for development approval

**Owner:** Edge Holdings No 6 Pty Ltd  
**Applicant:** Hillam Architects  
**Address for correspondence:** 2/31 Hood Street SUBIACO WA 6008  
**Location:** 3/74 Mill Point Road SOUTH PERTH  
**Lot:** 8 **Plan/Diagram:** 12506  
**Vol. No:** 1581 **Folio No:** 910  
**Application date:** 04 November 2016 **Received on:** 04 November 2016  
**Date of determination:** 22 November 2016  
**Description of development:** AMENDMENT TO APPROVED TEMPORARY SALES OFFICE (VALIDITY OF APPROVAL EXTENSION)  
The application for development approval is:  
 **Approved** subject to the following conditions  
 **Refused** for the following reason(s)

- (1) This approval pertains to the temporary addition of a 'Sales Office', 'Viewing Tower', 8 car bays, relevant signage and landscaping to the subject site for the purposes associated with the sale of apartments and commercial tenancies.
- (2) All temporary structures, including the Viewing Tower, Sales Office, Signage and Car Bays are to be removed from the site in their entirety no later than 18 months from the date of this determination.
- (3) The operating hours of the Sales Office and Viewing Tower shall be limited to:
  - Monday to Friday: 4:00PM – 7:00PM
  - Saturday and Sunday: 10:00AM – 4:00PMCustomer visitation outside of these times is also acceptable, if deemed necessary and formal appointments have been made.
- (4) No more than six (6) visitor vehicles are permitted on the site at any one time. All employee and visitor vehicles are to be parked within the car bays provided on site. Customers are to be advised of this requirement prior to their visitation.
- (5) The designated temporary customer/visitor parking bays shall be clearly identified on site by means of a sign bearing the words **"Visitor Parking"** in accordance with the requirements of clause 6.3 (11) of *Town Planning Scheme No. 6*.

Civic Centre, Cnr Sandgate St & South Tee  
South Perth Western Australia 6151  
Telephone (08) 9474 0777 Facsimile (08) 9474 2425  
Email: enquiries@southperth.wa.gov.au  
Web: www.southperth.wa.gov.au  
ABN 65 533 218 403



**CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 6**  
**Notice of Determination of Application for Planning Approval (continued)**

**Application date:** 04/11/2016

**ID No.:** 11.2015.268.2

Note 1:	If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of the determination, the approval will lapse and be of no further effect.
Note 2:	Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.
Note 3:	If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the <i>Planning and Development Act 2005</i> Part 14. An application must be made within 28 days of the determination.

**IMPORTANT NOTES:**

- (1) Conditions 2 and 3 of the planning approval are based upon time frames provided by the applicant / owners and agreed upon by the City.
- (2) It is the applicant's responsibility to liaise with the City's Building Services to confirm whether a building permit is required for the proposed structures.



SIVEN NAIDU  
ACTING MANAGER, DEVELOPMENT SERVICES  
for and on behalf of the City of South Perth

DETERMINATION DATED: 22 November 2016

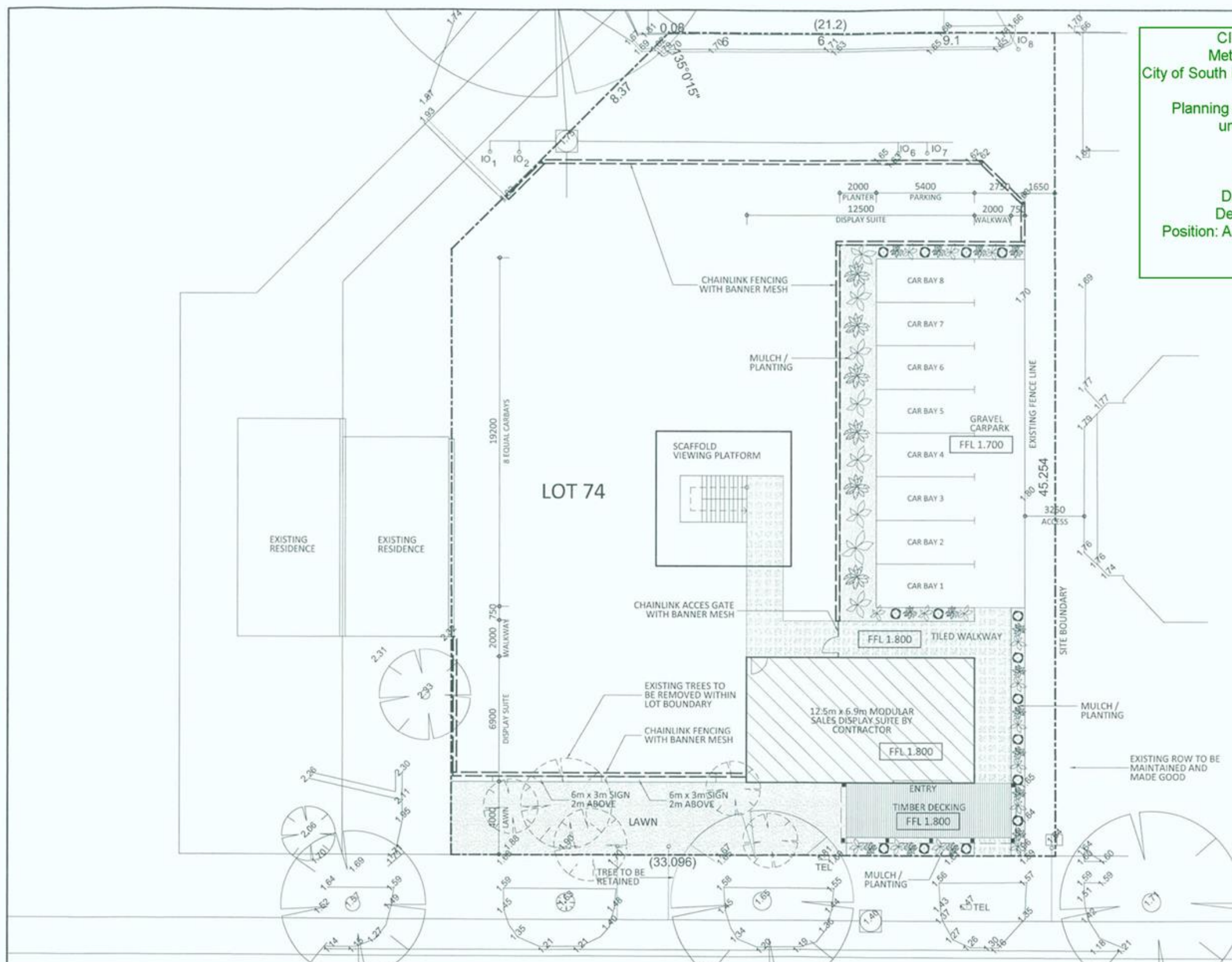
NB: For enquiries relating to this determination, please contact the applicant or the processing officer.

CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
City of South Perth Town Planning Scheme No. 6

Planning Approval Conditionally Granted  
under Delegated Authority

File Ref: M13/74V2  
ID No: 11.2015.268.2  
Date: 22 November 2016  
Delegated Officer: S Naidu  
Position: A/Manager Development Services

Sheet 1 of 5



PROPOSED SITE PLAN  
SCALE 1:200 @ A3

**HILLAM ARCHITECTS**  
2/31 HOOD ST SUBIACO WA  
ph. (08) 6380 1877 e: info@hillam.com.au

PROJECT  
**LUMIERE**  
MODULAR DISPLAY SUITE  
74 Mill Point Road, South Perth

DRAWING  
**SITE PLAN**

CLIENT  
EDGE HOLDINGS NO. 6

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DATE: MAY 2015  
PROJ. No: 1405  
DWG. No: A1-01  
REV. A

STATUS: DA

SCALE: 1:200  
DRAWN: SH  
CHK: SV

REV	DATE	NOTES	CHECKED
A	29/05/15	DA SUBMISSION	SV

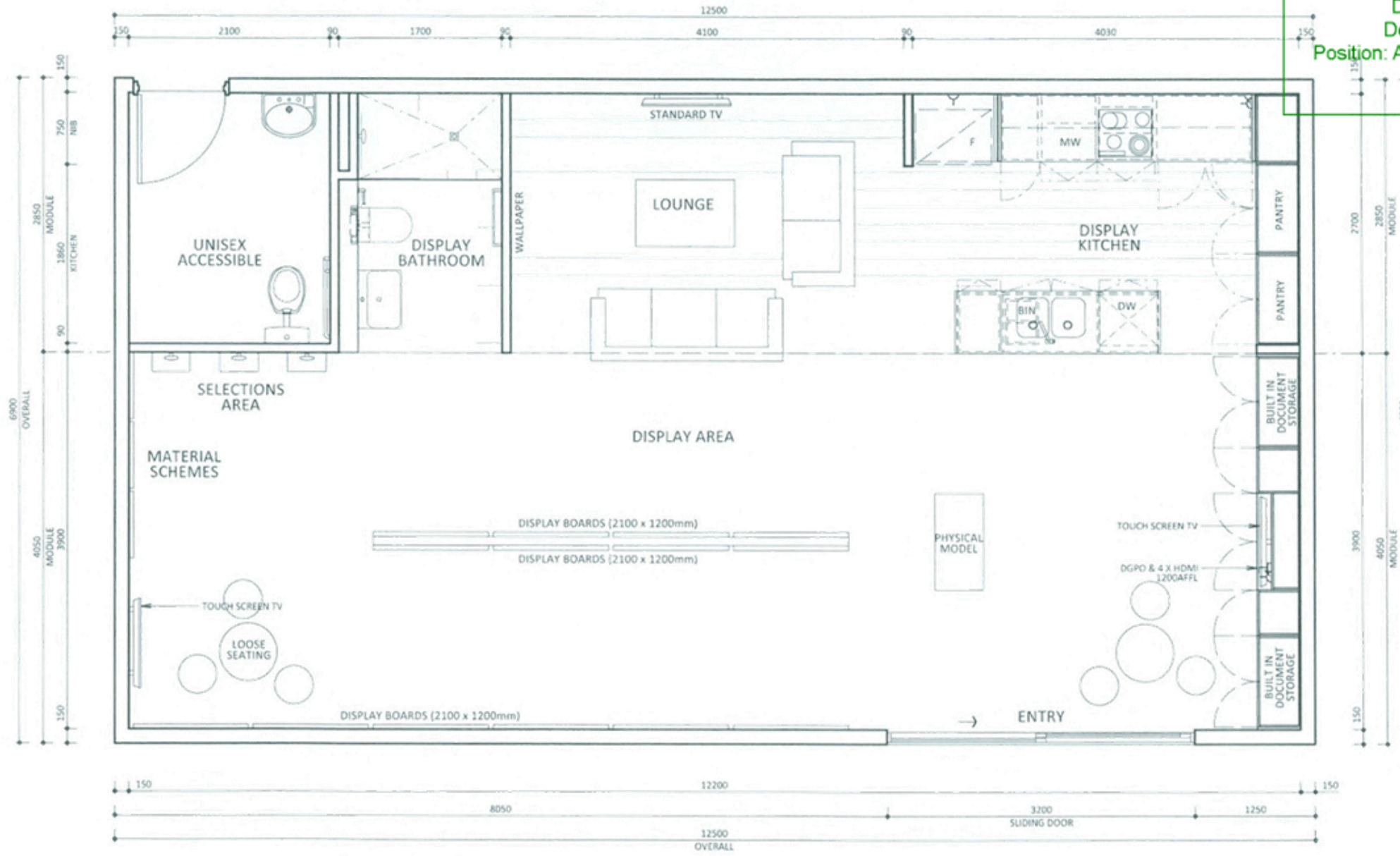


CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
City of South Perth Town Planning Scheme No. 6

Planning Approval Conditionally Granted  
under Delegated Authority

File Ref: MI3/74V2  
ID No 11.2015.268.2  
Date: 22 November 2016  
Delegated Officer: S Naidu  
Position: A/Manager Development Services

Sheet 2 of 5



FLOOR PLAN  
SCALE 1:50 @ A3



**HILLAM ARCHITECTS**  
2/31 HOOD ST SUBIACO WA  
ph. (08) 6380 1877 e. info@hillam.com.au

PROJECT  
**LUMIERE  
MODULAR DISPLAY SUITE**  
74 Mill Point Road, South Perth

DRAWING  
**DISPLAY SUITE PLAN**

CLIENT  
EDGE HOLDINGS NO. 6

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DATE  
MAY 2015

PROJ. No.  
1405

SCALE  
1:50

DRAWN  
SH

CHK  
SV

DWG No.  
A2-01

REV.  
A

STATUS  
DA

REV	DATE	NOTES	CHECKED
A	29/05/15	DA SUBMISSION	SV

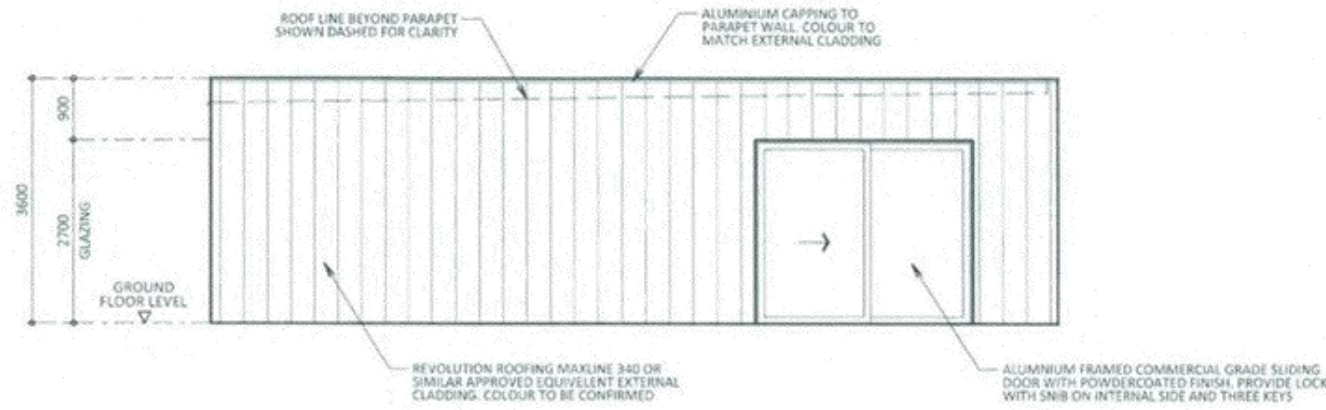


CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
City of South Perth Town Planning Scheme No. 6

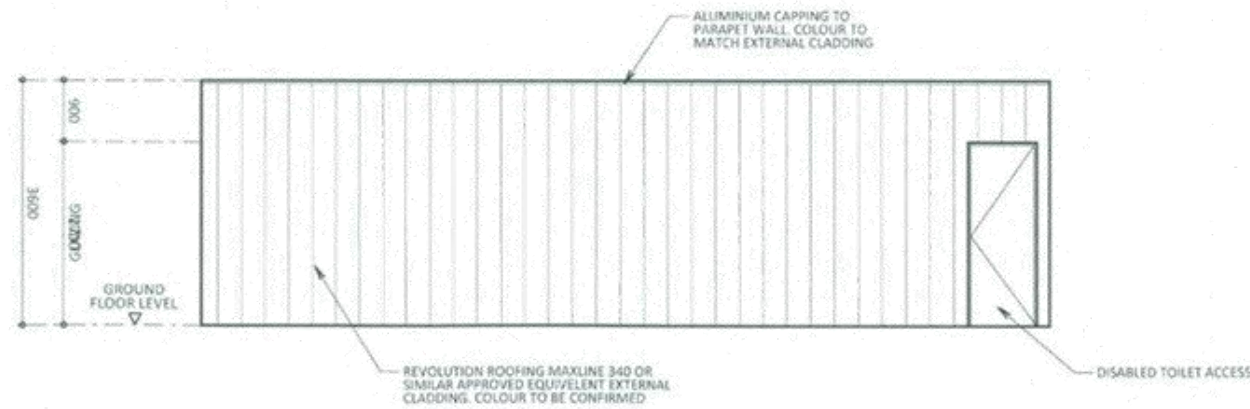
Planning Approval Conditionally Granted  
under Delegated Authority

File Ref: MI3/74V2  
ID No: 11.2015.268.2  
Date: 22 November 2016  
Delegated Officer: S Naidu  
Position: A/Manager Development Services

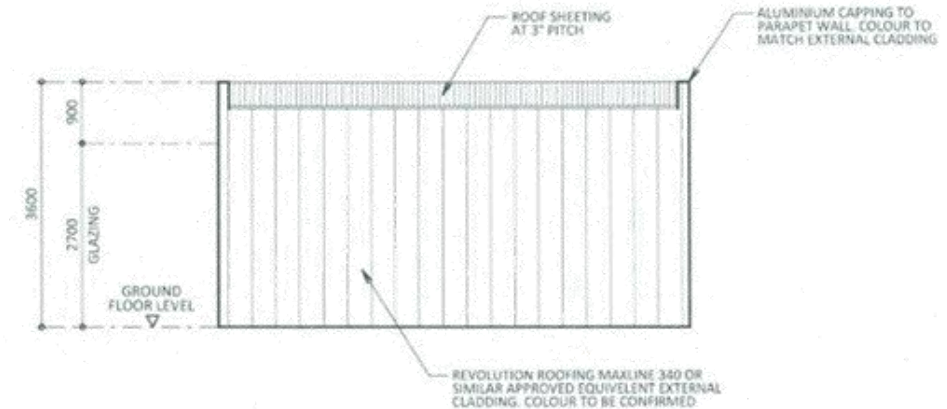
Sheet 3 of 5



**FRONT ELEVATION**  
SCALE 1:100 @ A3



**BACK ELEVATION**  
SCALE 1:100 @ A3



**SIDE ELEVATION**  
SCALE 1:100 @ A3

**HILLAM ARCHITECTS**  
2/31 HOOD ST SUBIACO WA  
ph. (08) 6380 1877 e: info@hillam.com.au

PROJECT  
**LUMIERE**  
MODULAR DISPLAY SUITE  
74 Mill Point Road, South Perth

DRAWING  
**DISPLAY SUITE ELEVATIONS**

CLIENT  
EDGE HOLDINGS NO. 6

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DATE  
MAY 2015

PROJ. No  
1405

SCALE  
1:100

DRAWN  
SH

CHK  
SV

DWG No.  
**A3-01**

REV.  
**A**

STATUS  
**DA**

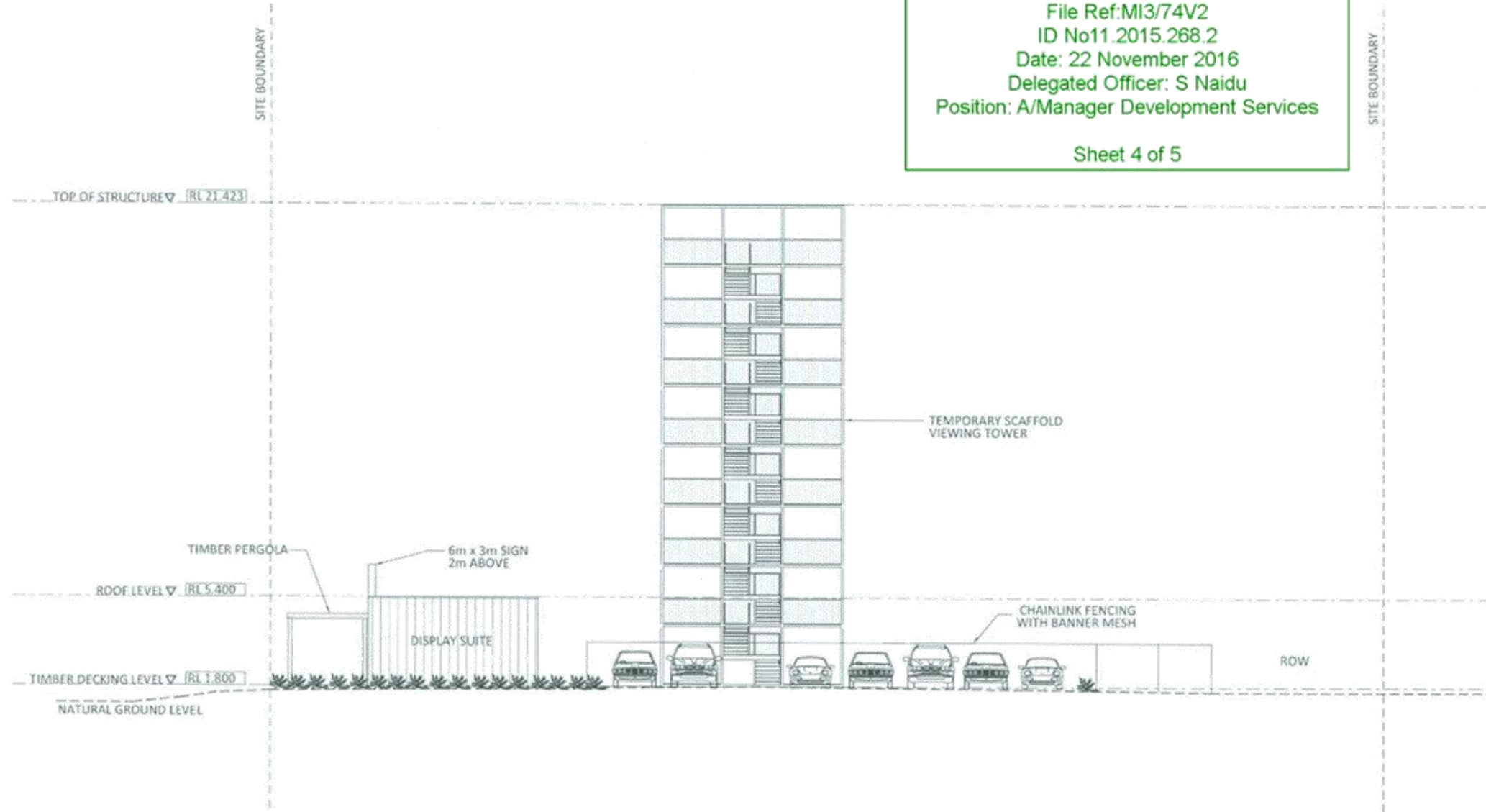
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A	29/05/15	DA SUBMISSION	SV

CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
City of South Perth Town Planning Scheme No. 6

Planning Approval Conditionally Granted  
under Delegated Authority

File Ref: MI3/74V2  
ID No 11.2015.268.2  
Date: 22 November 2016  
Delegated Officer: S Naidu  
Position: A/Manager Development Services

Sheet 4 of 5



**SOUTH ELEVATION**  
SCALE 1:200 @ A3

**HILLAM ARCHITECTS**  
2/31 HOOD ST SUBIACO WA  
ph. (08) 6380 1877 e: info@hillam.com.au

PROJECT  
**LUMIERE**  
MODULAR DISPLAY SUITE  
74 Mill Point Road, South Perth

DRAWING  
**SOUTH ELEVATION**

CLIENT  
EDGE HOLDINGS NO. 6

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DATE  
MAY 2015

PROJ. No  
1405

SCALE  
1:200

DRAWN  
SH

CHK  
SV

DWG No.  
A3-02

REV.  
A

STATUS  
DA

REV	DATE	NOTES	CHECKED
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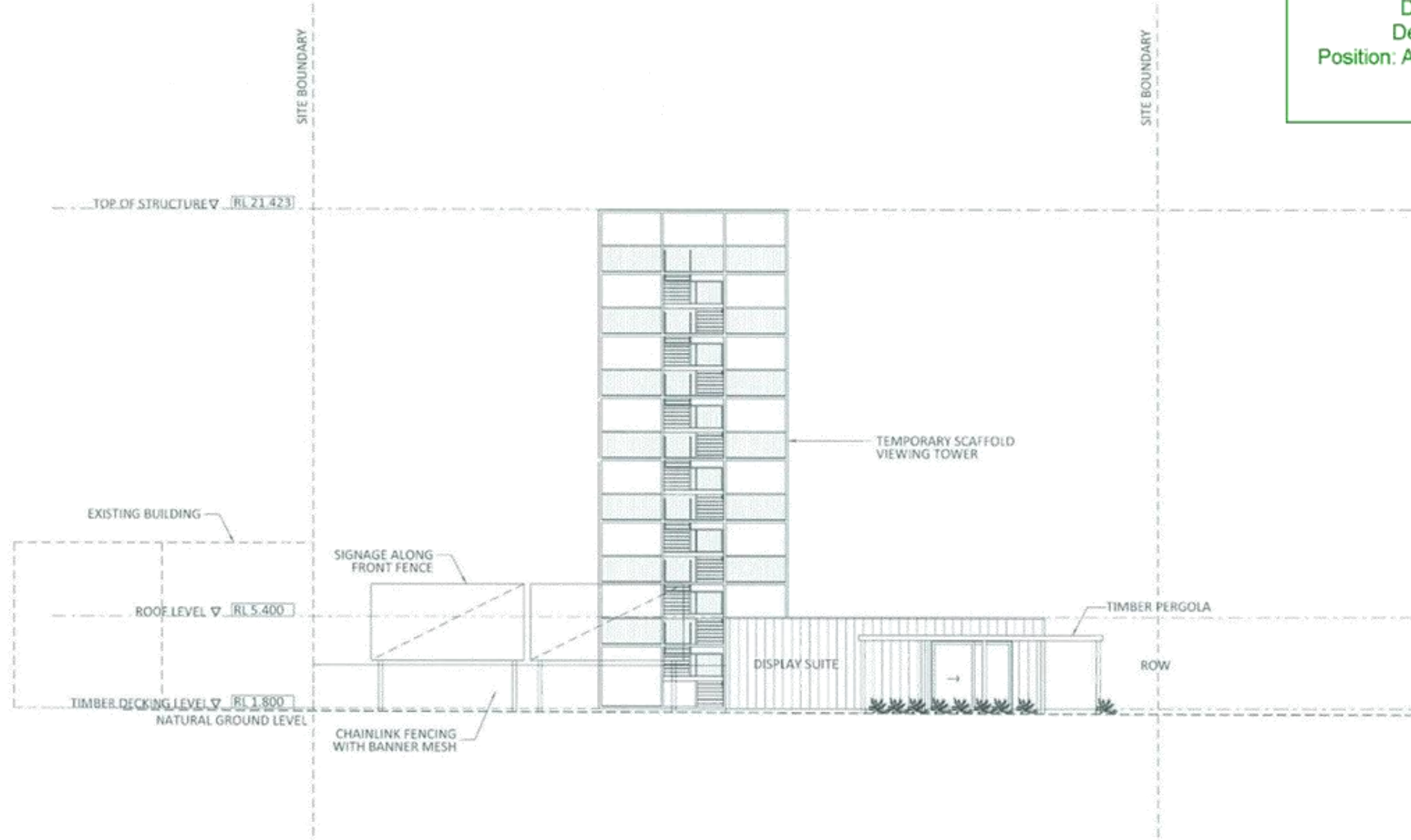


CITY OF SOUTH PERTH  
Metropolitan Region Scheme  
City of South Perth Town Planning Scheme No. 6

Planning Approval Conditionally Granted  
under Delegated Authority

File Ref: MI3/74V2  
ID No: 11.2015.268.2  
Date: 22 November 2016  
Delegated Officer: S Naidu  
Position: A/Manager Development Services

Sheet 5 of 5



**WEST ELEVATION**  
SCALE 1:200 @ A3



PROJECT  
**LUMIERE**  
MODULAR DISPLAY SUITE  
74 Mill Point Road, South Perth

DRAWING  
**WEST ELEVATION**

CLIENT  
EDGE HOLDINGS NO. 6

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DATE: MAY 2015  
PROJ. No: 1405

SCALE: 1:200  
DRAWN: SH  
CHK: SV

DWG No. **A3-03**  
REV. **A**

STATUS  
**DA**

REV	DATE	NOTES	CHECKED
A	29/05/15	DA SUBMISSION	SV

File Ref: MI3/74  
ID No. 11.2015.268.1  
Processing Officer: Mr Erik Dybdahl

City of  
SouthPerth

TOWN PLANNING SCHEME NO. 6  
Schedule 8

Refer to Clause 7.9

## Notice of Determination of Application for Planning Approval

<b>Owner:</b>	Edge Holdings No 6 Pty Ltd
<b>Applicant:</b>	Hillam Architects
<b>Address for correspondence:</b>	2/31 Hood Street SUBIACO WA 6008
<b>Planning application for proposed:</b>	TEMPORARY SALES OFFICE, VIEWING TOWER, SIGNAGE & CAR BAYS
<b>Property address:</b>	LOTS 7-20 (NOS. 3-7/74) MILL POINT ROAD, SOUTH PERTH
<b>Date of application for planning approval:</b>	03 June 2015
<b>Date of determination of application:</b>	30 June 2015

Pursuant to the provisions of the *Metropolitan Region Scheme* and the *City of South Perth Town Planning Scheme No. 6*, the application for planning approval and attached plans are hereby **GRANTED** planning approval, subject to the following conditions:

- (1) This approval pertains to the temporary addition of a 'Sales Office', 'Viewing Tower', 8 car bays, relevant signage and landscaping to the subject site for the purposes associated with the sale of apartments and commercial tenancies which are to be subsequently constructed on the development site.
- (2) All temporary structures, including the Viewing Tower, Sales Office, Signage and Car Bays are to be removed from the site in their entirety no later than 18 months from the date of this approval.
- (3) The operating hours of the Sales Office and Viewing Tower shall be limited to:
  - Monday to Friday: 4:00PM – 7:00PM
  - Saturday and Sunday: 10:00AM – 4:00PMCustomer visitation outside of these times is also acceptable, if deemed necessary and formal appointments have been made.
- (4) No more than six (6) visitor vehicles are permitted on the site at any one time. All employee and visitor vehicles are to be parked within the car bays provided on site. Customers are to be advised of this requirement prior to their visitation.
- (5) The designated temporary customer/visitor parking bays shall be clearly identified on site by means of a sign bearing the words "**Visitor Parking**" in accordance with the requirements of clause 6.3 (11) of *Town Planning Scheme No. 6*.

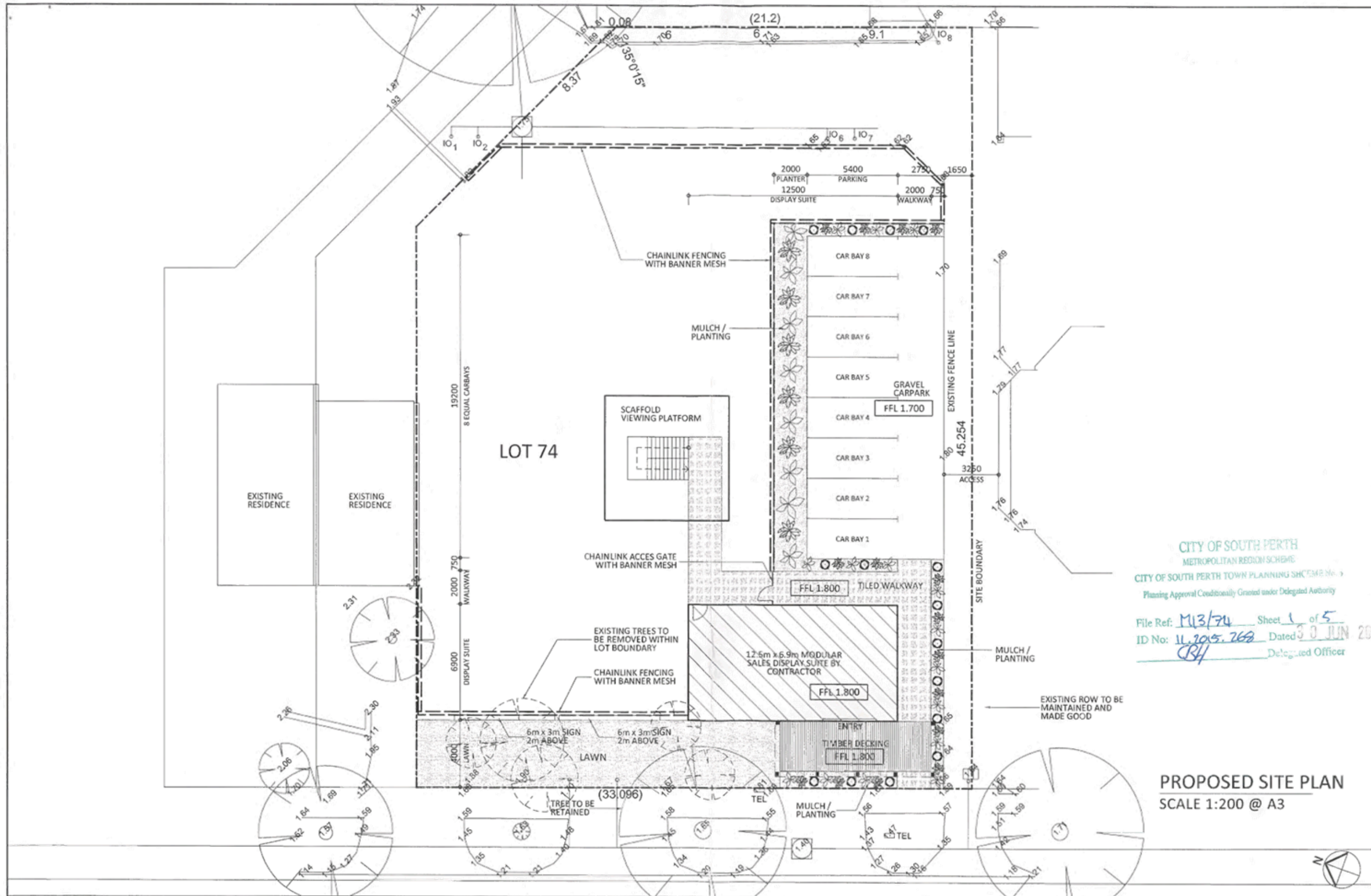
Civic Centre, Cnr Sandgate St & South Tce  
South Perth Western Australia 6151

Telephone (08) 9474 0777 Facsimile (08) 9474 2425  
Email: enquiries@southperth.wa.gov.au

Web: www.southperth.wa.gov.au  
ABN 65 533 218 403



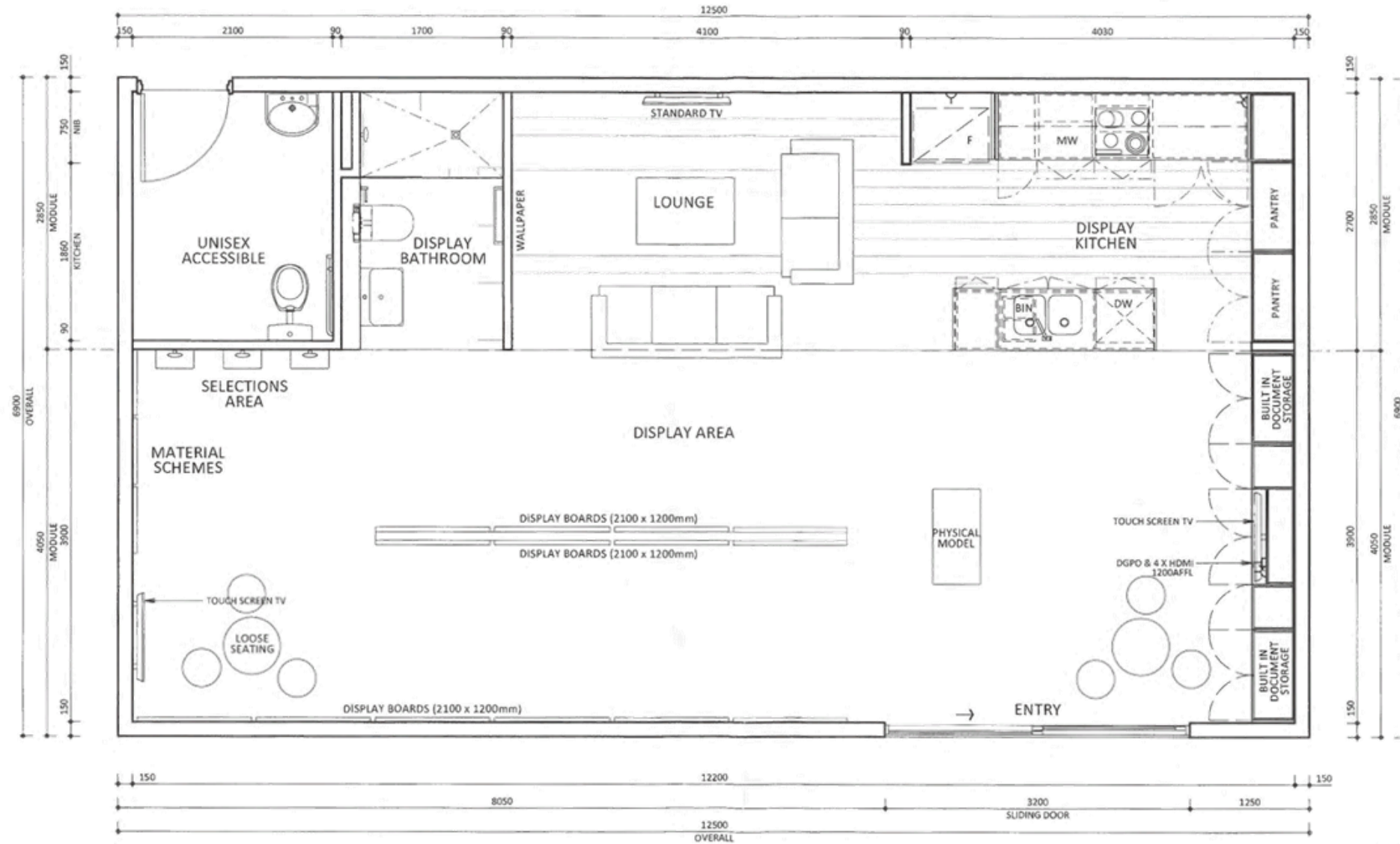




CITY OF SOUTH PERTH  
METROPOLITAN REGION SCHEME  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 3  
Planning Approval Conditionally Granted under Delegated Authority  
File Ref: M13/74 Sheet 1 of 5  
ID No: 11.2015.268 Dated 30 JUN 2015  
CSA Delegated Officer

PROPOSED SITE PLAN  
SCALE 1:200 @ A3

<p>HILLAM ARCHITECTS 2/31 HOOD ST SUBIACO WA ph. (08) 6380 1877 e: info@hillam.com.au</p>	<p>PROJECT <b>LUMIERE</b> MODULAR DISPLAY SUITE 74 Mill Point Road, South Perth</p>	<p>DRAWING <b>SITE PLAN</b></p>	<p>THIS DRAWING IS COPYRIGHT (C) AND REMAINS THE PROPERTY OF HILLAM ARCHITECTS. IT MUST NOT BE REPRODUCED, COPIED OR USED WITHOUT THE AUTHORITY OF HILLAM ARCHITECTS.</p>	<p>DATE <b>MAY 2015</b> PROJ. No <b>1405</b></p>	<p>DWG No. <b>A1-01</b></p>	<p>REV. <b>A</b></p>	<p>STATUS <b>DA</b></p>	<table border="1"> <tr> <td>REV</td> <td>DATE</td> <td>NOTES</td> <td>CHECKED</td> </tr> <tr> <td>A</td> <td>29/05/15</td> <td>DA SUBMISSION</td> <td>SV</td> </tr> </table>	REV	DATE	NOTES	CHECKED	A	29/05/15	DA SUBMISSION	SV
	REV	DATE	NOTES	CHECKED												
A	29/05/15	DA SUBMISSION	SV													
<p>CLIENT <b>EDGE HOLDINGS NO. 6</b></p>	<p>SCALE 1:200 DRAWN SH CHK SV</p>	<p>DATE <b>MAY 2015</b> PROJ. No <b>1405</b></p>	<p>DWG No. <b>A1-01</b></p>	<p>REV. <b>A</b></p>	<p>STATUS <b>DA</b></p>	<table border="1"> <tr> <td>REV</td> <td>DATE</td> <td>NOTES</td> <td>CHECKED</td> </tr> <tr> <td>A</td> <td>29/05/15</td> <td>DA SUBMISSION</td> <td>SV</td> </tr> </table>	REV	DATE	NOTES	CHECKED	A	29/05/15	DA SUBMISSION	SV		
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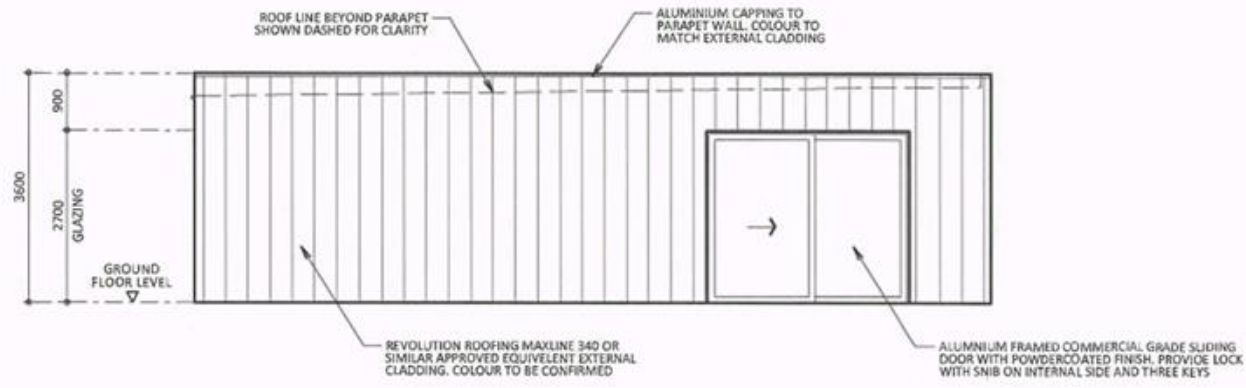
**FLOOR PLAN**  
SCALE 1:50 @ A3

CITY OF SOUTH PERTH  
METROPOLITAN REGION SCHEME  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 6  
Planning Approval Conditionally Granted under Delegated Authority  
File Ref: M13/74 Sheet 2 of 5  
ID No: 11.2015.268 Dated 30 JUN 2015  
CBH Delegated Officer

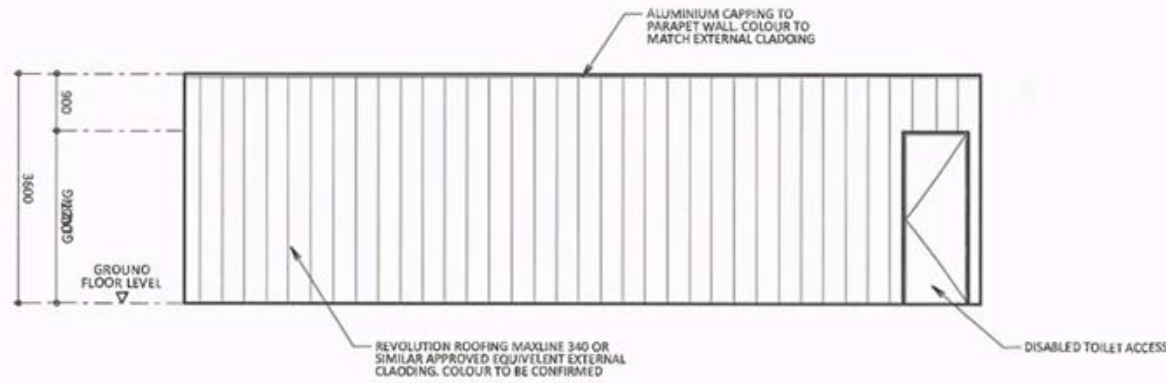


<p>HILLAM ARCHITECTS 2/31 HOOD ST SUBIACO WA ph. (08) 6380 1877 e. info@hillam.com.au</p>	<p>PROJECT <b>LUMIERE</b> MODULAR DISPLAY SUITE 74 Mill Point Road, South Perth</p>	<p>DRAWING <b>DISPLAY SUITE PLAN</b></p>	<p>THIS DRAWING IS COPYRIGHT (C) AND REMAINS THE PROPERTY OF HILLAM ARCHITECTS. IT MUST NOT BE REPRODUCED, COPIED OR USED WITHOUT THE AUTHORITY OF HILLAM ARCHITECTS.</p>	<p>DATE <b>MAY 2015</b> PROJ. No <b>1405</b> DWG No. <b>A2-01</b> REV. <b>A</b></p>	<p>STATUS <b>DA</b></p>	<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>NOTES</th> <th>CHECKED</th> </tr> <tr> <td>A</td> <td>29/05/15</td> <td>DA SUBMISSION</td> <td>SV</td> </tr> </table>	REV	DATE	NOTES	CHECKED	A	29/05/15	DA SUBMISSION	SV
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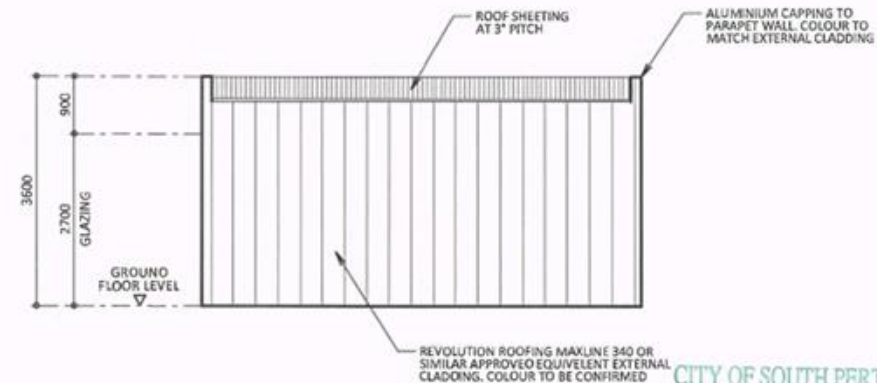




**FRONT ELEVATION**  
SCALE 1:100 @ A3



**BACK ELEVATION**  
SCALE 1:100 @ A3



**SIDE ELEVATION**  
SCALE 1:100 @ A3

CITY OF SOUTH PERTH  
METROPOLITAN REGION SCHEME  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 5  
Planning Approval Conditionally Granted under Delegated Authority

File Ref: M13/74 Sheet 3 of 5  
ID No: 11.2015.268 Dated 30 JUN 2015  
CRH Delegated Officer

**HILLAM ARCHITECTS**  
2/31 HOOD ST SUBIACO WA  
ph. (08) 6380 1877 e. info@hillam.com.au

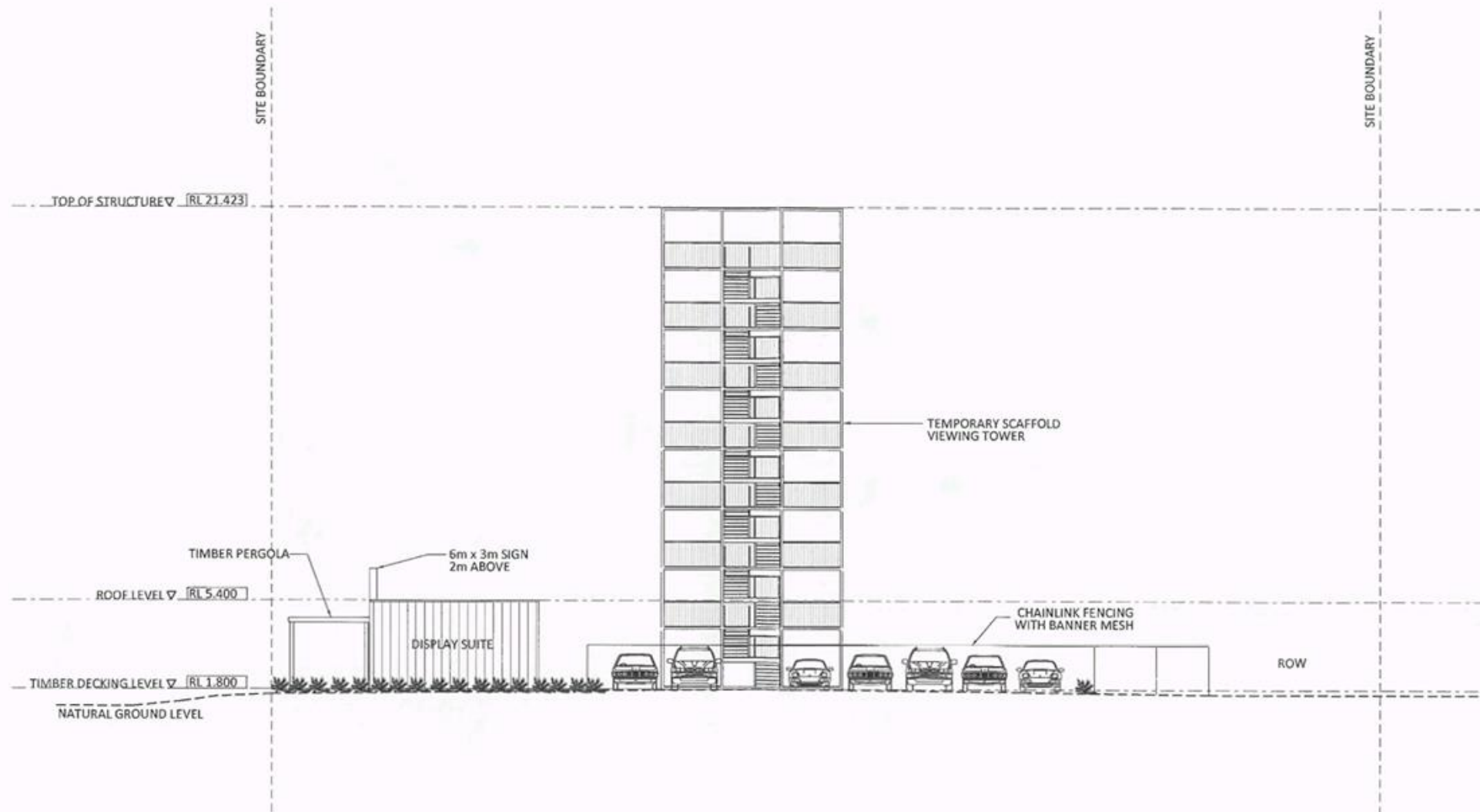
PROJECT  
**LUMIERE**  
MODULAR DISPLAY SUITE  
74 Mill Point Road, South Perth

DRAWING  
**DISPLAY SUITE ELEVATIONS**  
CLIENT  
EDGE HOLDINGS NO. 6

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SCALE 1:100  
DRAWN SH  
CHK SV

DATE **MAY 2015**  
PROJ. No **1405**  
DWG No. **A3-01**  
REV. **A**  
STATUS **DA**

REV	DATE	NOTES	CHECKED
A	29/05/15	DA SUBMISSION	SV

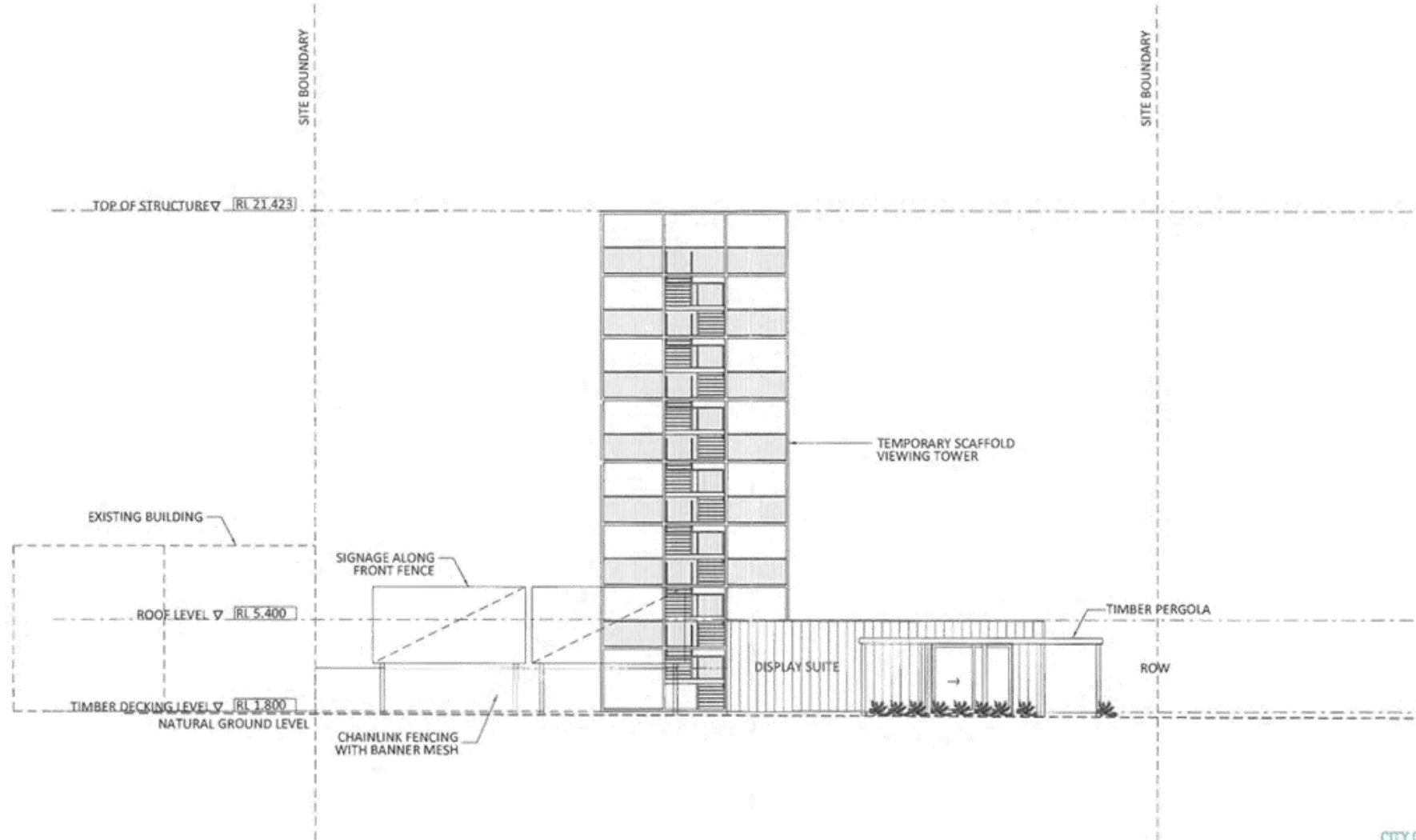


**SOUTH ELEVATION**  
SCALE 1:200 @ A3

CITY OF SOUTH PERTH  
METROPOLITAN REGION SCHEME  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 5  
Planning Approval Conditionally Granted under Delegated Authority

File Ref: M13/74 Sheet 4 of 5  
ID No: 11.2015.286 Dated 30 JUN 2015  
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**WEST ELEVATION**  
SCALE 1:200 @ A3

CITY OF SOUTH PERTH  
METROPOLITAN REGION SCHEME  
CITY OF SOUTH PERTH TOWN PLANNING SCHEME No. 5  
Planning Approval Conditionally Granted under Delegated Authority

File Ref: M13/74 Sheet 5 of 5  
ID No: 11.2015.268 Date: 5 JUN 2015  
CRH Delegated Officer

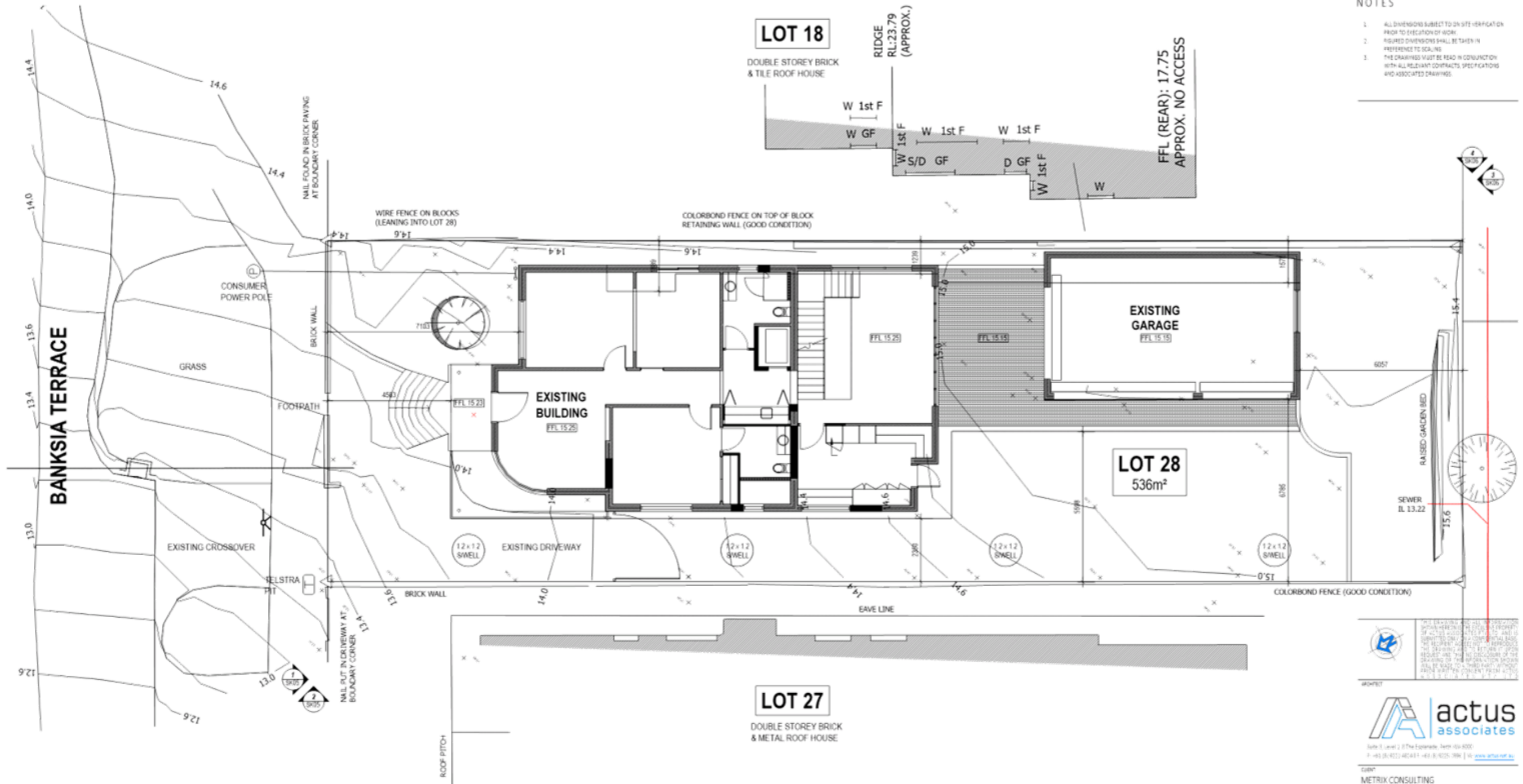
<p>2/31 HOOD ST SUBIACO WA ph. (08) 6380 1877 e. info@hillam.com.au</p>	<p>PROJECT <b>LUMIERE</b> MODULAR DISPLAY SUITE 74 Mill Point Road, South Perth</p>	<p>DRAWING <b>WEST ELEVATION</b></p>	<p>THIS DRAWING IS COPYRIGHT (C) AND REMAINS THE PROPERTY OF HILLAM ARCHITECTS. IT MUST NOT BE REPRODUCED, COPIED OR USED WITHOUT THE AUTHORITY OF HILLAM ARCHITECTS.</p>	<p>DATE: MAY 2015 PROJ. No: 1405 DWG No.: A3-03 REV.: A</p>	<p>STATUS: DA</p>	<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>NOTES</th> <th>CHECKED</th> </tr> <tr> <td>A</td> <td>29/05/15</td> <td>DA SUBMISSION</td> <td>SV</td> </tr> </table>	REV	DATE	NOTES	CHECKED	A	29/05/15	DA SUBMISSION	SV
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REV	DATE	NOTES	CHECKED											
A	29/05/15	DA SUBMISSION	SV											



DATE	REV	DESCRIPTION
28.12.2018	A	NOT USE
28.12.2018	B	SEEK FOR PLANNING APPROVAL

NOTES

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2. FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALING.
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CLIENT: METRIX CONSULTING

PROJECT: MARQUIS AND CORVETTE'S RESIDENCE  
22A BANKSIA TERRACE  
SOUTH PERTH

DRAWING TITLE: SITE PLAN

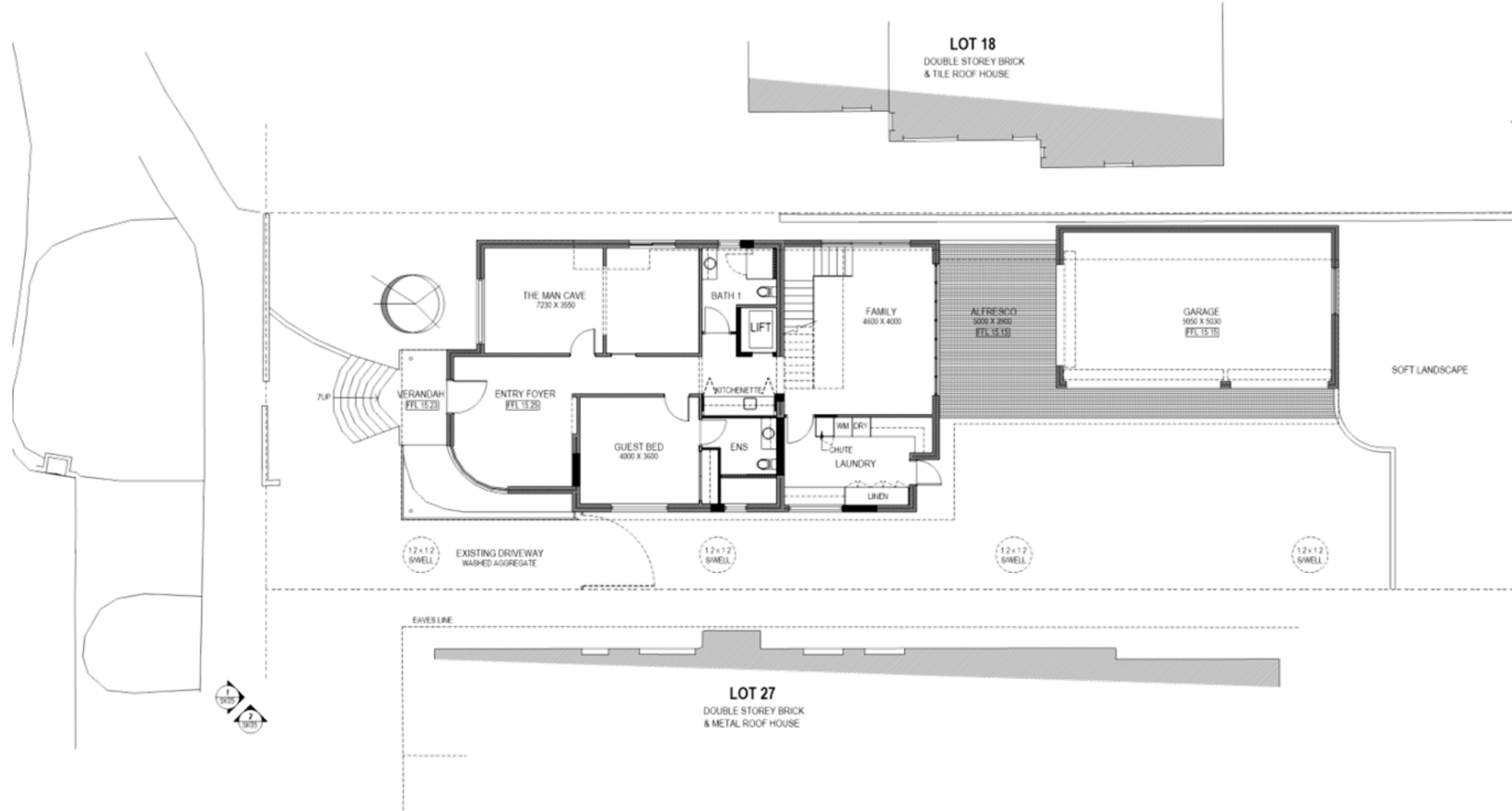
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DATE	PROJECT NUMBER
DEC 2018	18-037

DRAWING NUMBER	REVISION
SK-01	B



DATE	REV	DESCRIPTION
28.12.2018	A	ISSUE TO CLIENT - WORK IN PROGRESS
28.12.2018	B	ISSUE FOR PLANNING APPROVAL



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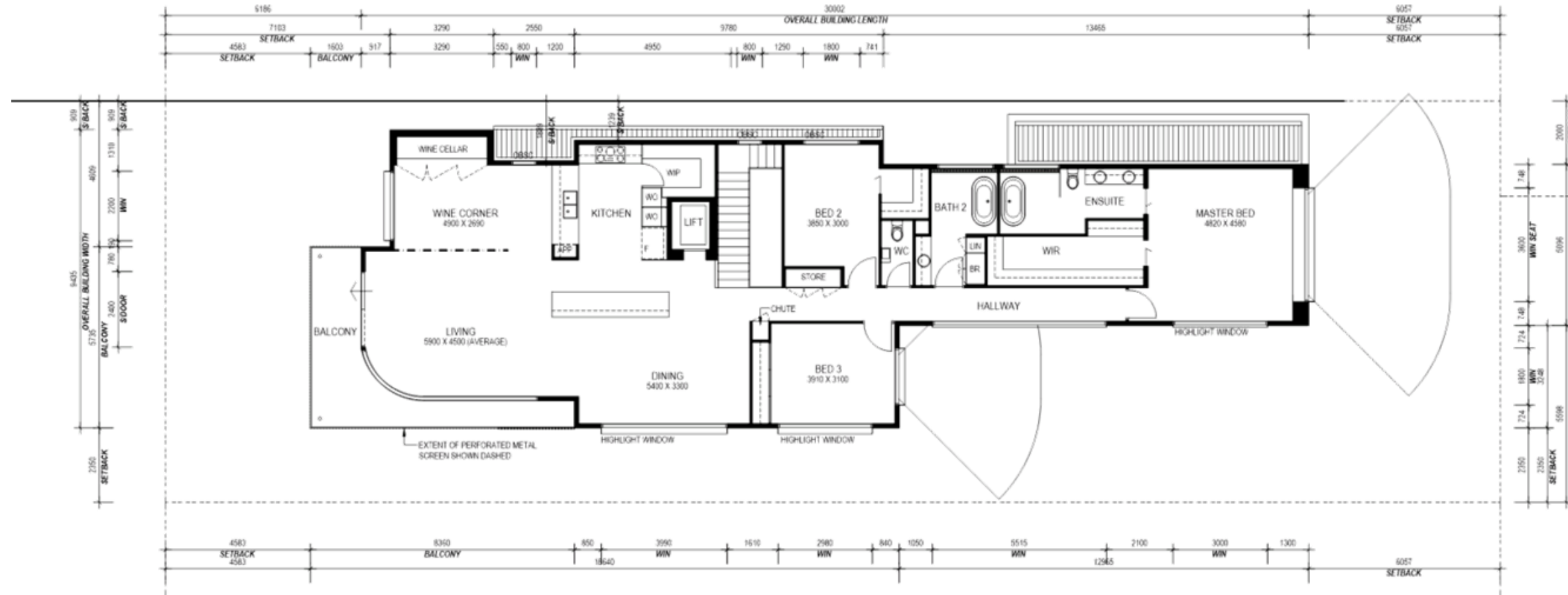
ARCHITECT  
METRIX CONSULTING

PROJECT  
MARGUS AND CORVETTE'S RESIDENCE  
22A BANKSIA TERRACE  
SOUTH PERTH

DRAWING TITLE  
GROUND FLOOR PLAN

DRAWN	CHECKED	SCALE
YM	AW	1:100
DATE	PROJECT NUMBER	
DEC 2018	18-037	
DRAWING NUMBER		REVISION
SK-02		B

DATE	REV	DESCRIPTION
28.11.2018	A	ISSUE TO CLIENT - WORK IN PROGRESS
20.12.2018	B	ISSUE FOR PLANNING APPROVAL
20.04.2019	C	REVISED PLAN FOR PLANNING APPROVAL



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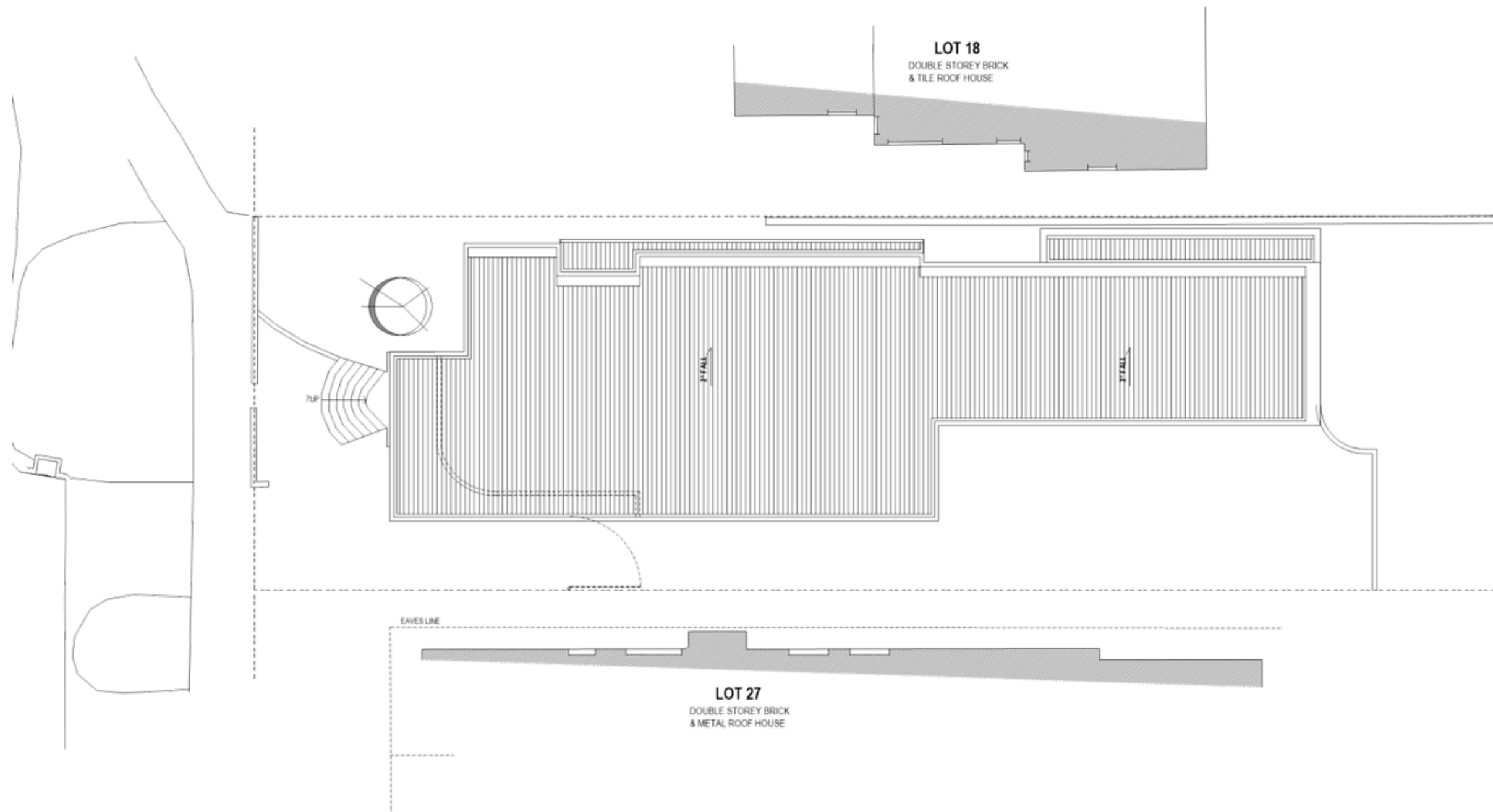
Client  
METRIX CONSULTING

Project  
MARGUS AND CORVETTE'S RESIDENCE  
22A BANKSIA TERRACE  
SOUTH PERTH

Drawing Title  
FIRST FLOOR PLAN

DRAWN	CHECKED	SCALE @ A1
YM	KL	1:100
DATE	PROJECT NUMBER	
APR 2019	18-037	
DRAWING NUMBER	REVISION	
SK-03	C	

DATE	REV	DESCRIPTION
28.12.2018	A	NOT USED
28.12.2018	B	SEEK FOR PLANNING APPROVAL



LOT  
  
LOT

**NOTES**

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METRIX CONSULTING

**PROJECT**  
MARGUS AND CORVETTE'S RESIDENCE  
22A BANKSIA TERRACE  
SOUTH PERTH

**DRAWING TITLE**  
FIRST FLOOR PLAN

DRAWN	CHECKED	SCALE
YM	AW	1:100
DATE	PROJECT NUMBER	REVISION
DEC 2018	18-037	B
<b>DRAWING NUMBER</b>	<b>SK-04</b>	

DATE	REV	DESCRIPTION
28.11.2018	A	ISSUE TO CLIENT - WORK IN PROGRESS
01.12.2018	B	ISSUE FOR PLANNING APPROVAL



- LEGEND**
- 1 REVOLUTION MAXLINE METAL CLADDING IN SELECTED FINISH. INSTALL TO MANUFACTURER'S SPECIFICATION
  - 2 PERFORATED METAL SCREEN IN SELECTED PATTERN AND FINISH
  - 3 EQUITONE FIBRE CEMENT CLADDING IN SELECTED FINISH. INSTALL TO MANUFACTURER'S SPECIFICATION
  - 4 RENDERED BRICK WALL IN SELECTED PAINT FINISH
  - 5 RENDERED FIBRE CEMENT SHEET CLADDING IN SELECTED PAINT FINISH
  - 6 ALUMINIUM FRAME GLAZING IN SELECTED POWERCOAT FINISH

1 NORTH ELEVATION (BANKSIA TCE)  
SK02 1:100



2 WEST ELEVATION  
SK02 1:100

- NOTES**
1. ALL DIMENSIONS SUBJECT TO ON SITE VERIFICATION PRIOR TO EXECUTION OF WORK.
  2. FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALING.
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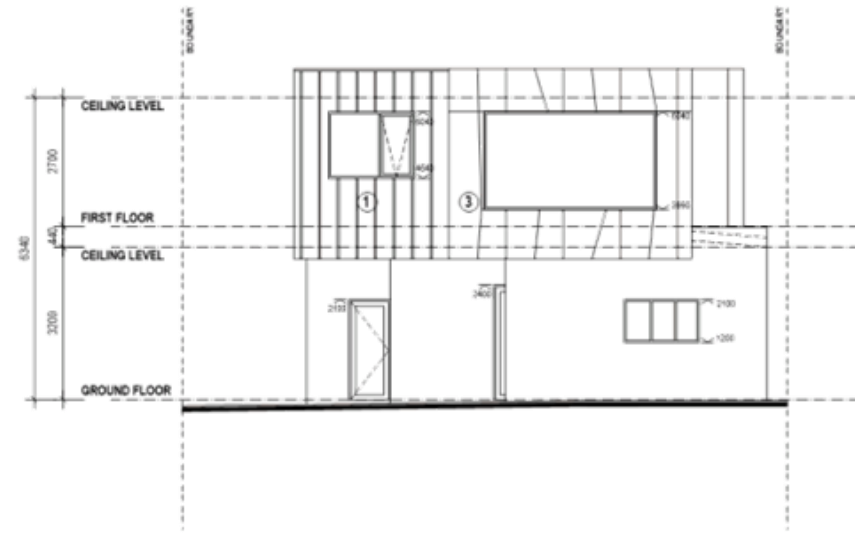
PROJECT  
MARQUIS AND CORVETTE'S RESIDENCE  
22A BANKSIA TERRACE  
SOUTH PERTH

DRAWING TITLE  
ELEVATIONS

DRAWN	CHECKED	SCALE
YM	AW	1:100
DATE	PROJECT NUMBER	REVISION
DEC 2018	18-037	B
DRAWING NUMBER	SK-05	



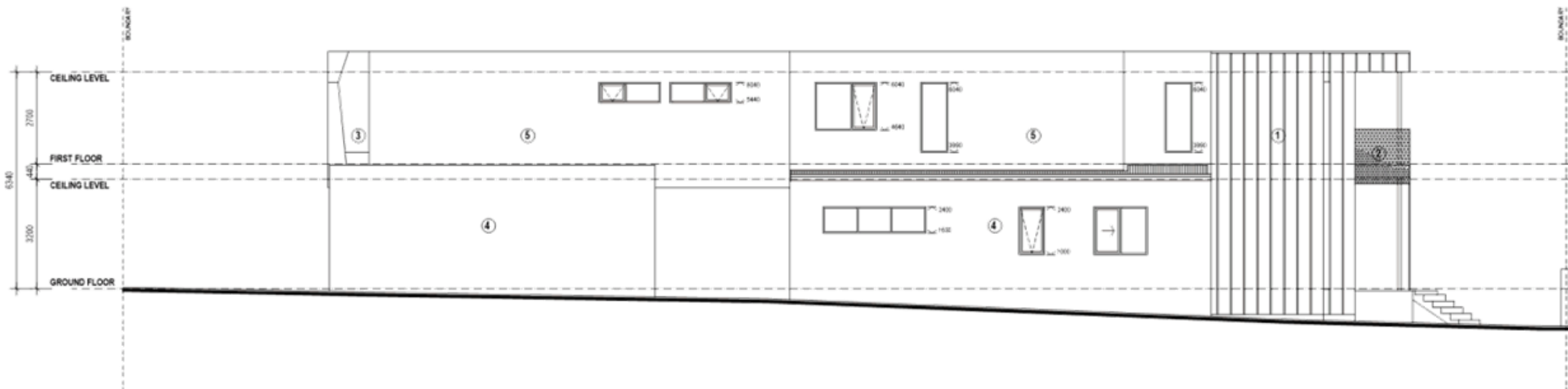
DATE	REV	DESCRIPTION
28.11.2018	A	ISSUE TO CLIENT - WORK IN PROGRESS
20.12.2018	B	ISSUE FOR PLANNING APPROVAL
20.04.2019	C	REVISED ELEVATIONS FOR PLANNING APPROVAL



3 SOUTH ELEVATION (REAR)  
SK02 1:100

**LEGEND**

- ① REVOLUTION MAXLINE METAL CLADDING IN SELECTED FINISH. INSTALL TO MANUFACTURER'S SPECIFICATION
- ② PERFORATED METAL SCREEN IN SELECTED PATTERN AND FINISH
- ③ EQUITONE FIBRE CEMENT CLADDING IN SELECTED FINISH. INSTALL TO MANUFACTURER'S SPECIFICATION
- ④ RENDERED BRICK WALL IN SELECTED PAINT FINISH
- ⑤ RENDERED FIBRE CEMENT SHEET CLADDING IN SELECTED PAINT FINISH
- ⑥ ALUMINIUM FRAME GLAZING IN SELECTED POWERCOAT FINISH



4 EAST ELEVATION  
SK02 1:100

**NOTES**

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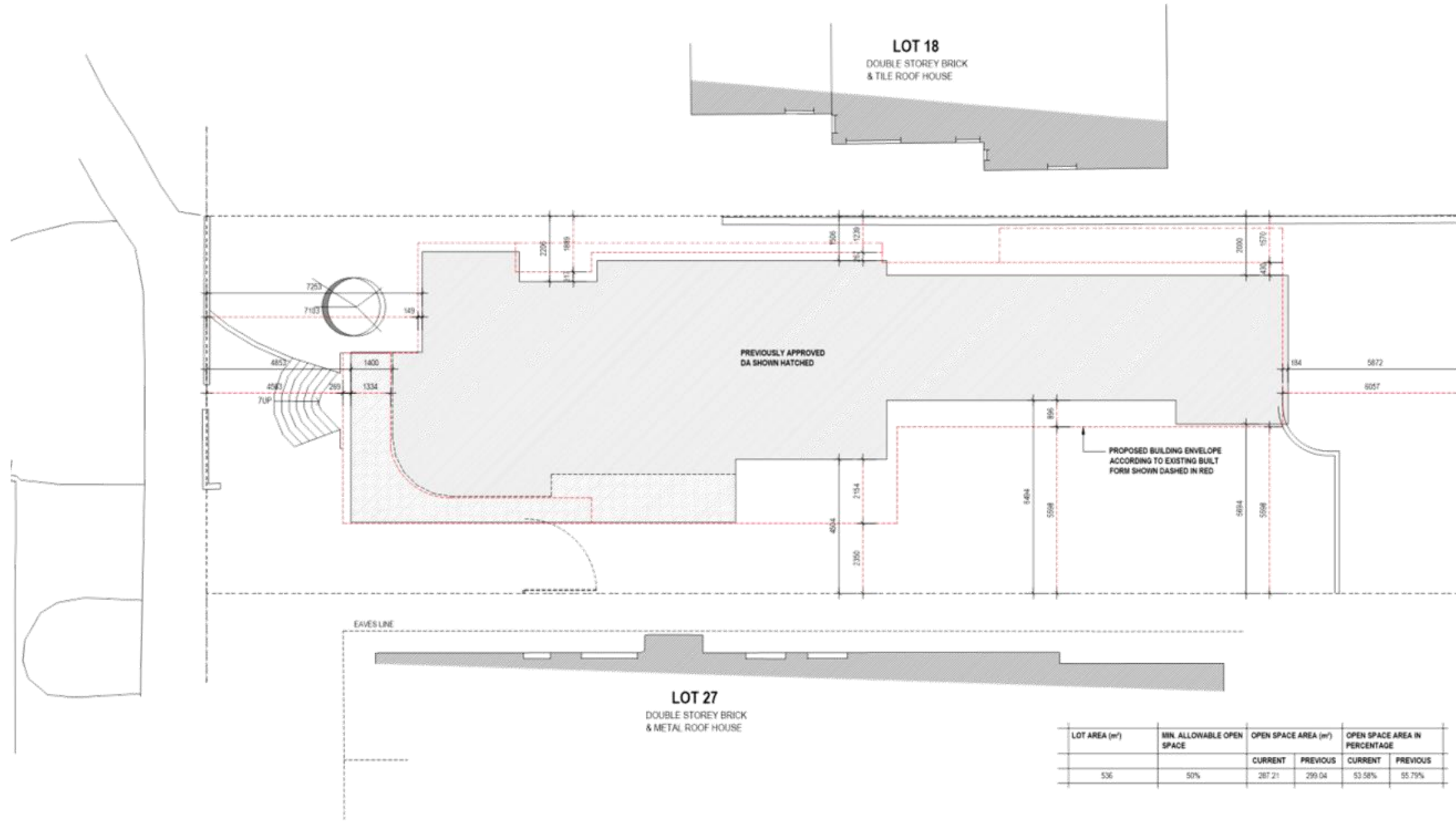
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MARQUIS AND CORVETTE'S RESIDENCE  
22A BANKSIA TERRACE  
SOUTH PERTH

DRAWING TITLE  
ELEVATIONS

DRAWN	CHECKED	SCALE @ A3
YM	KL	1:100
DATE	PROJECT NUMBER	
APR 2019	18-037	
DRAWING NUMBER	REVISION	
SK-06	C	



DATE	REV	DESCRIPTION
28.11.2018	A	ISSUE TO CLIENT - WORK IN PROGRESS
20.12.2018	B	ISSUE FOR PLANNING APPROVAL



LOT 53  
LOT 52

**NOTES**

1. ALL DIMENSIONS SUBJECT TO ON SITE VERIFICATION PRIOR TO EXECUTION OF WORK.
2. DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALING.
3. THE DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND ASSOCIATED DRAWINGS.



Level 3 Level 1 of The Esplanade, Perth WA 6000  
P: +61 (0)8 9222 4044 F: +61 (0)8 9222 3594 | WWW.ACTUS.AU

CLIENT  
METRIX CONSULTING

PROJECT  
MARQUIS AND CORVETTE'S RESIDENCE  
22A BANKSIA TERRACE  
SOUTH PERTH

DRAWING TITLE  
FIRST FLOOR PLAN

LOT AREA (m <sup>2</sup> )	MIN. ALLOWABLE OPEN SPACE	OPEN SPACE AREA (m <sup>2</sup> )		OPEN SPACE AREA IN PERCENTAGE	
		CURRENT	PREVIOUS	CURRENT	PREVIOUS
536	50%	287.21	299.04	53.58%	55.79%

DRAWN	CHECKED	SCALE
YM	AW	1:100
DATE	PROJECT NUMBER	REVISION
DEC 2018	18-037	
DRAWING NUMBER		
SK-08		B



Site Visit Photos – 22A Banksia Terrace – Retrospective additions and alterations to Single House –  
11.2019.3.1

Photos taken of 22A Banksia Terrace



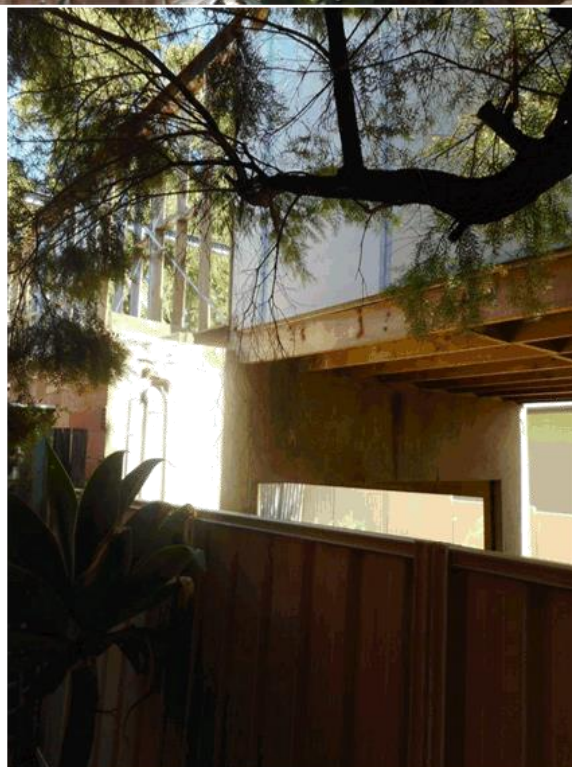
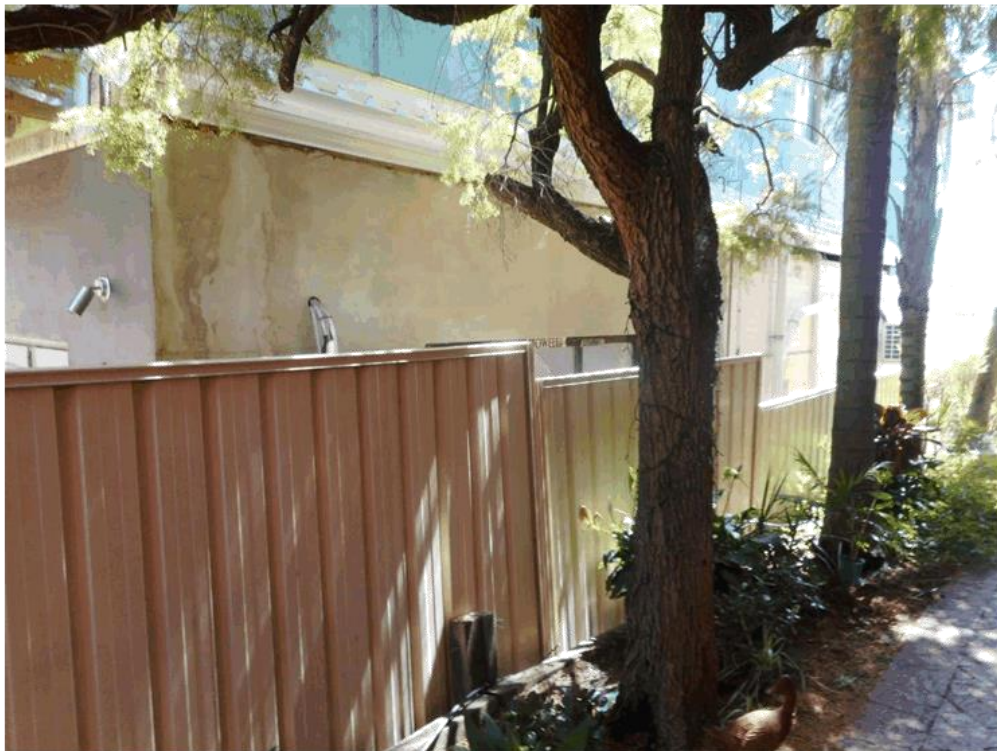








Photos taken from 24 Banksia Terrace toward subject site



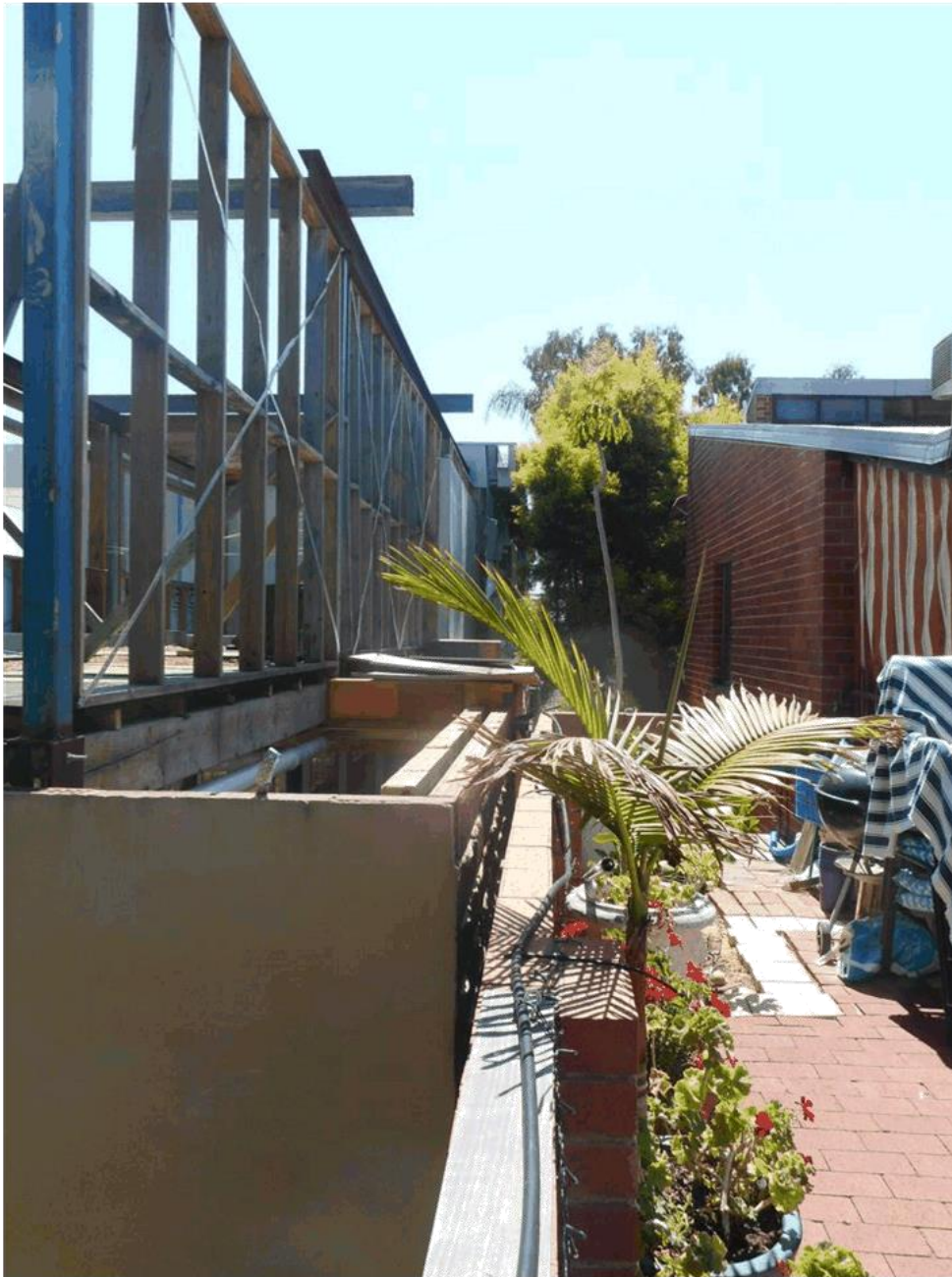




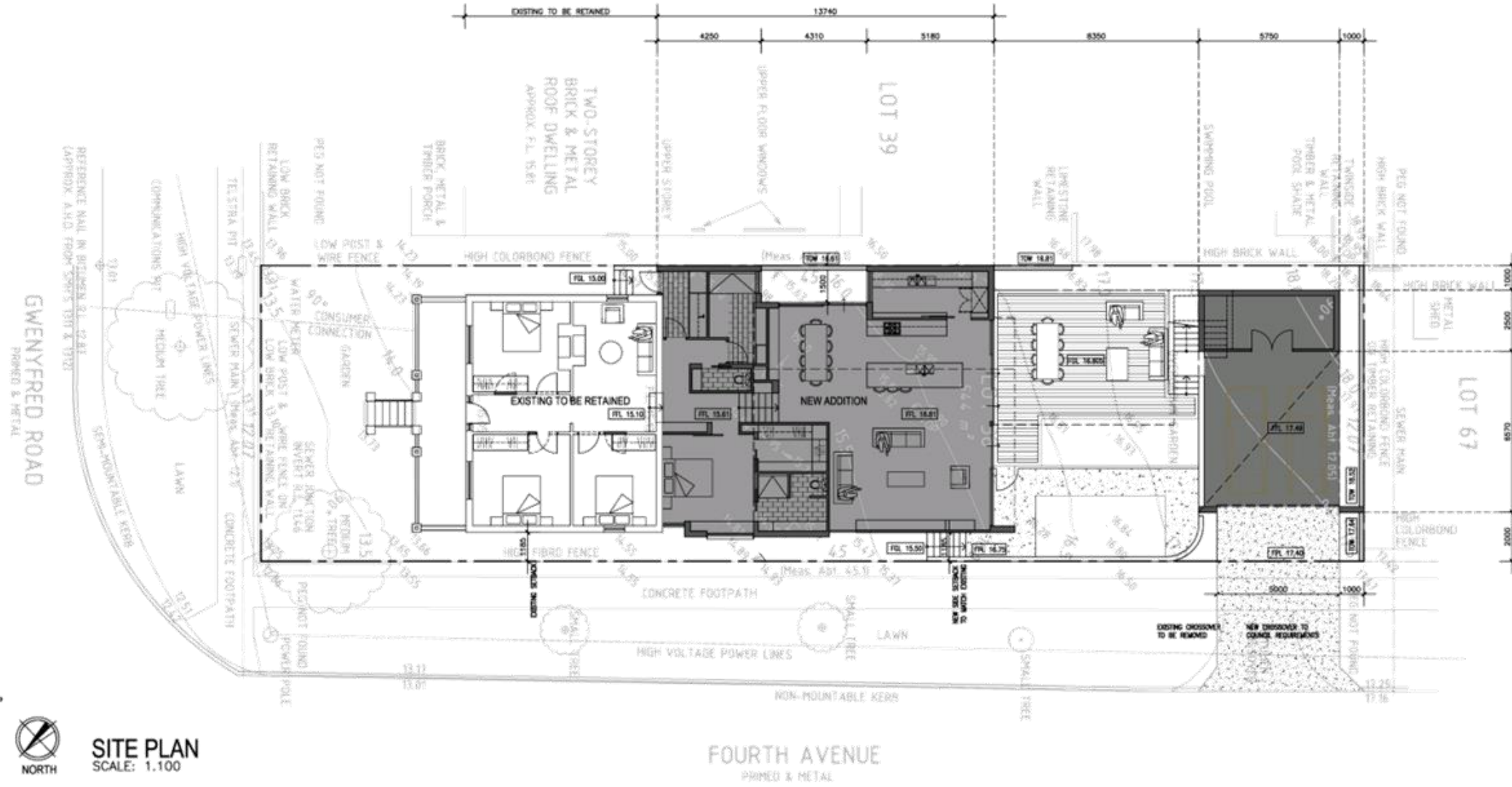






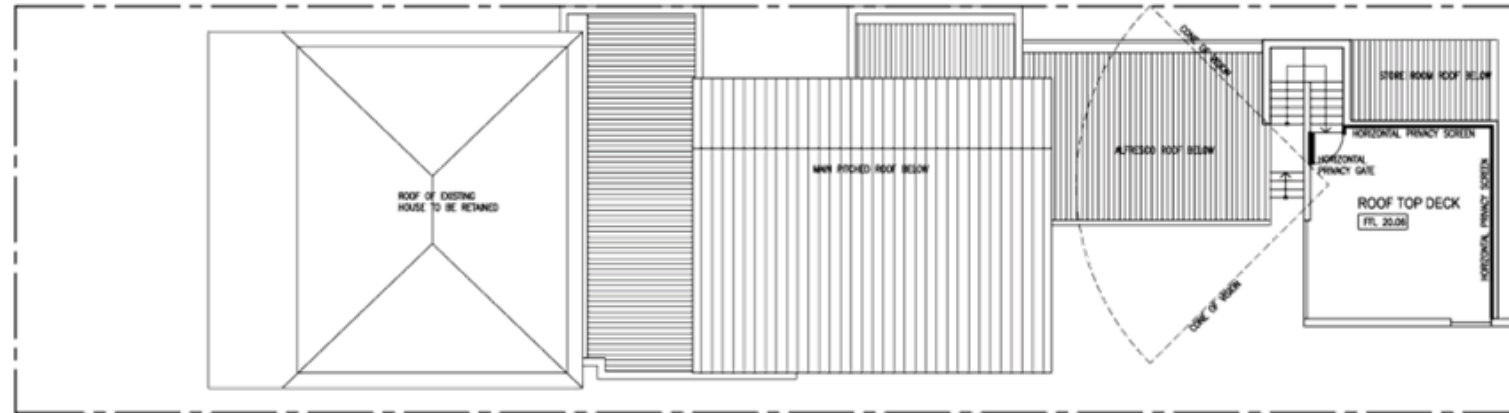




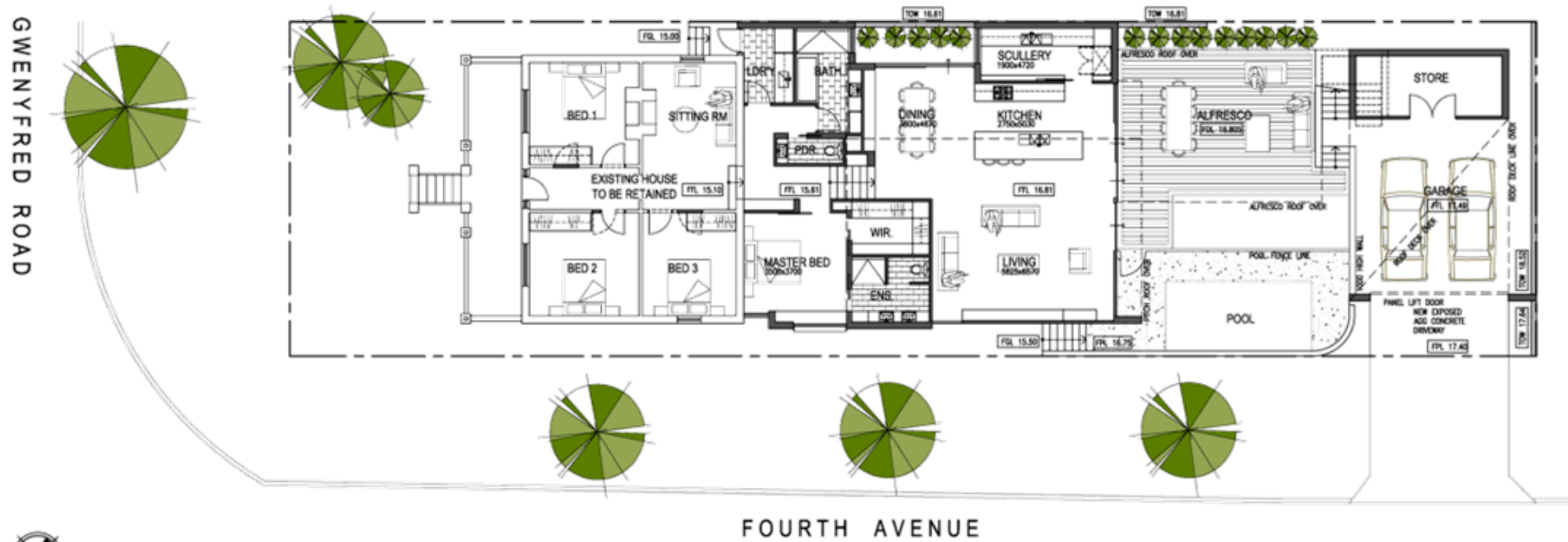


A01 of A03  
date:26/03/19  
REV 2

PROPOSED ADDITIONS & ALTERATIONS  
AT 61 GWENYFRED ROAD, KENSINGTON  
for M & V WORTHINGTON  
ISSUED FOR DEVELOPMENT APPROVAL



**ROOF DECK PLAN**  
SCALE: 1:100

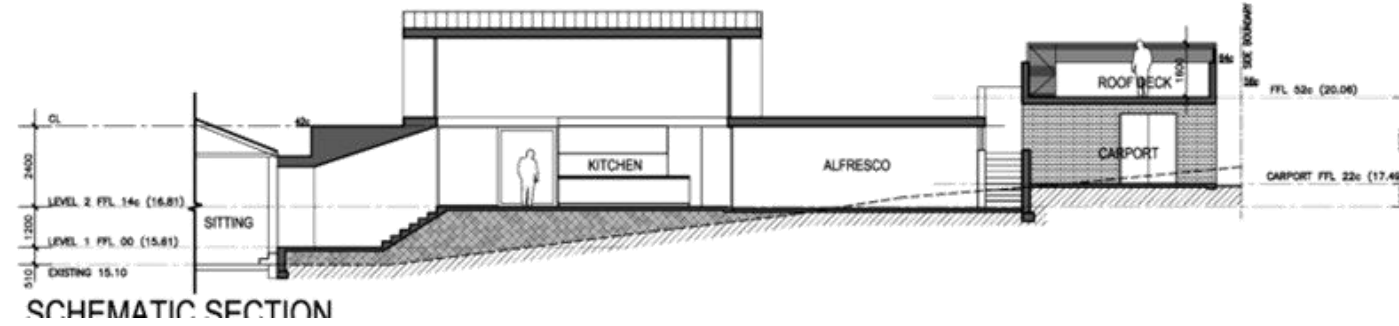
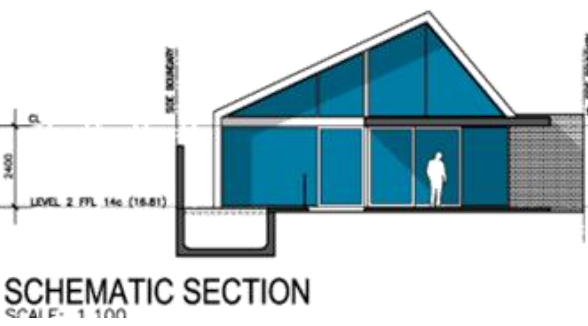
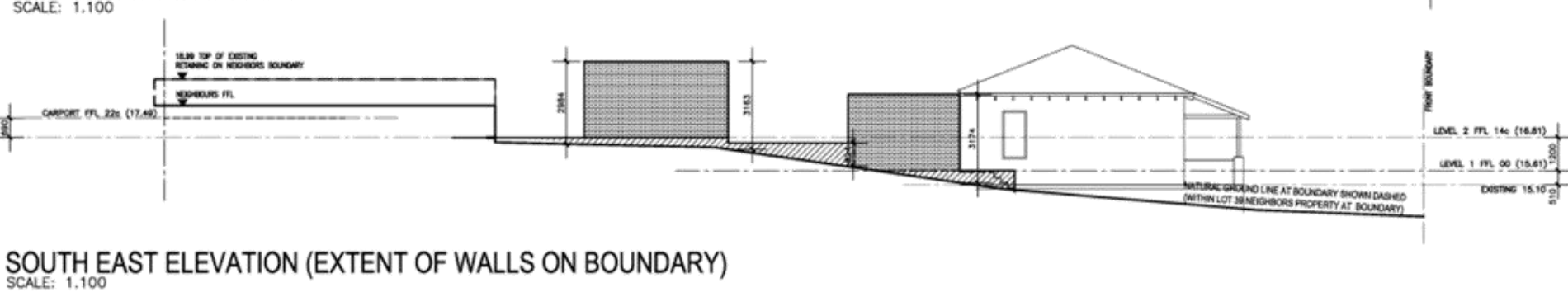
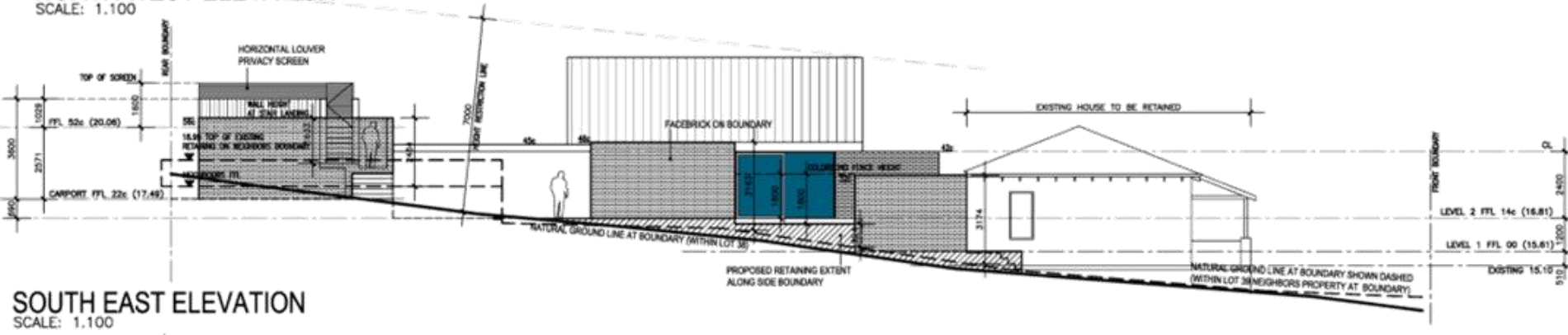
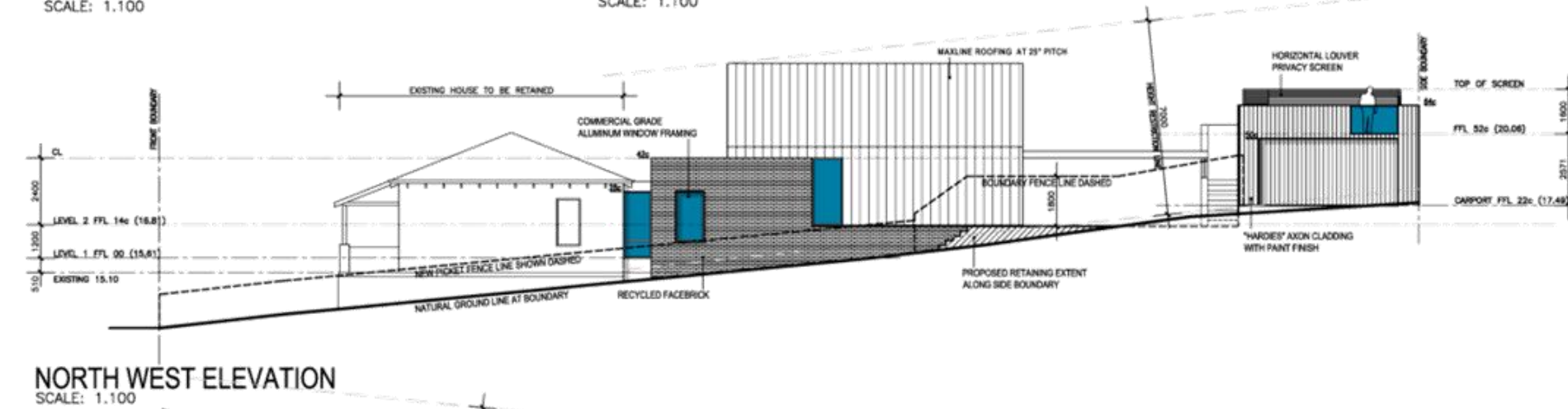
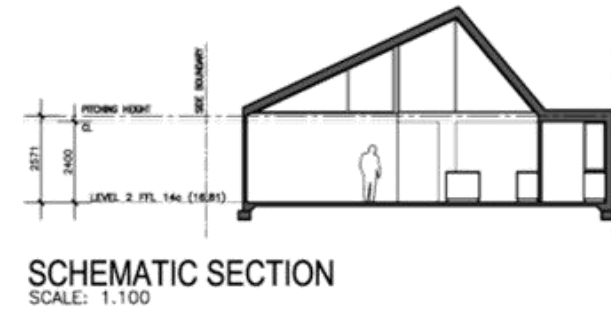
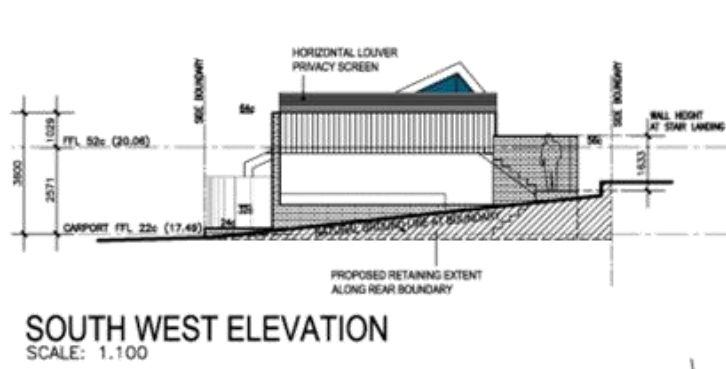


**PROPOSED FLOOR PLAN**  
SCALE: 1:100

BUILDING AREAS:	
PROPOSED HOUSE EXTENSION	145M <sup>2</sup>
EXISTING RESIDENCE	77M <sup>2</sup>
CARPORIT/STORE	55M <sup>2</sup>
ROOF TOP DECK	38M <sup>2</sup>
<b>SITE AREA</b>	<b>544M<sup>2</sup></b>

A02 of A03  
date:26/03/19  
REV 2

**PROPOSED ADDITIONS & ALTERATIONS  
AT 61 GWENYFRED ROAD, KENSINGTON  
for M & V WORTHINGTON  
ISSUED FOR DEVELOPMENT APPROVAL**



A03 of A03  
date:26/03/19  
rev 2

PROPOSED ADDITIONS & ALTERATIONS  
AT 61 GWENYFRED ROAD, KENSINGTON  
for M & V WORTHINGTON  
ISSUED FOR DEVELOPMENT APPROVAL



DRP Notes – 5 February 2019 – 61 Gwentyfred Road – Additions and alterations to Single House –  
11.2018.471.1

- a) *Strengths of the proposal*
- *Retention of the existing house and proposed additions is a pleasing example of contemporary architecture.*
  - *Juxtaposing and contrasting the building styles is a positive approach.*
  - *Garage roof deck is a great addition and is not considered a flat roof because it is functional.*
  - *The proposal maintains the character of the area by retaining the front of the existing dwelling (Gwentyfred Road).*
  - *In favour of using garage roof as deck because it contributes to street activation.*
  - *Materials are well considered.*
- b) *Weaknesses of the proposal*
- *Blank fence on north-west elevation could be improved with landscaping or another style of fencing.*
- c) *Suggested improvements to the proposal*
- *Suggest possible modifications to the roof form to become symmetrical, consistent with the pleasing symmetry of the original house.*
  - *Dark grey colour of the roof cladding could be revisited and consideration towards a lighter grey is recommended.*
  - *Consider shade structure or landscaping over garage roof. Suggest a split pitch roof in accordance with the policy to allow more light infiltration.*
- d) *Recommendation/Summary*
- *Steepest part of the roof pitch is a grey area when considering the Kensington Policy.*
  - *View from the primary street being Gwentyfred Road is acceptable, although it is acknowledged that the view from Fourth Avenue (the secondary street) does not comply with the Policy.*
  - *The split gable roof pitch arguably complies, although is supported nonetheless.*
  - *The proposed roof form is acceptable, given that Gwentyfred Road is considered to be the primary street, and noting that the roof form is not highly visible when viewed from this particular street.*
  - *The design of the roof form of the additions and alterations is supported, albeit with a suggestion to improve it by making it symmetrical.*
  - *Overall, satisfied with the proposal and its compatibility with the streetscape.*

**Our Reference:** MW057531  
**Your Reference:** 11.2018.471.1  
**Contact:** Matt Griffiths

8 April 2019

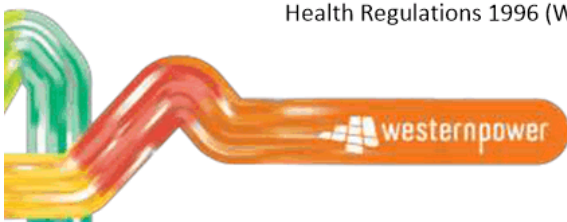
City of South Perth

Dear Sir / Madam

**61 Gwentyfred Road, Kensington, 6151 – House Extension**

Further to your referral of the aforementioned development application, Western Power has reviewed the proposal in the context of its network assets and provides the following comments and recommendation:

- (i) The applicant must submit an application for a clearance assessment if the proposed structures fall within the easement of poles 83 and 84 (see fig. 1 below). To complete a clearance assessment the following will need to be included in the application;
  - a. The horizontal offset of the roof from the property boundary or better yet the conductor;
  - b. RL heights of roof tops, gutters, carport etc; and
  - c. Line survey data (send them our "Survey brief for building near the Western Power network")
- (ii) All parties involved in the design, construction, and maintenance of the building shall comply with WA Occupational Safety & Health Regulation 3.64 to ensure safe constructability and maintenance of the building.
- (iii) Any development on the subject site shall be designed and constructed to protect Western Power infrastructure and interests from potential land use conflict. Proponents should refer to <https://westernpower.com.au/safety/360-aware/industry-safety/>
- (iv) It is the landowner's responsibility to ensure that the design and construction of any new structure on the land complies with all applicable laws including, without limitation, clearance requirements of electrical infrastructure. We recommend that you engage a suitably qualified independent person (surveyor, architect, engineer) to undertake an assessment of the proposed development to ensure that best methods of construction are utilised and compliance with all applicable laws (including clearance requirements of electrical infrastructure in general and those specified under Occupational Safety and Health Regulations 1996 (WA)).



363 Wellington Street Perth 6000  
GPO Box L921 Perth WA 6842  
enquiry@westernpower.com.au  
westernpower.com.au



† 13 10 87  
f (08) 9225 2660  
TTY 1800 13 13 51  
TIS 13 14 50

Electricity Networks Corporation

FIG. 1





Further information regarding easement, network safety and clearance requirements can be found on Western Power's website at <https://westernpower.com.au/safety/360-aware>.

Should you require further clarification regarding our recommendations, please call us on 13 10 87 or e-mail [wapc@westernpower.com.au](mailto:wapc@westernpower.com.au)

Yours sincerely

**Matt Griffiths**  
**Customer Service Officer**  
**Customer Service**



# LUM & MORGAN RESIDENCE

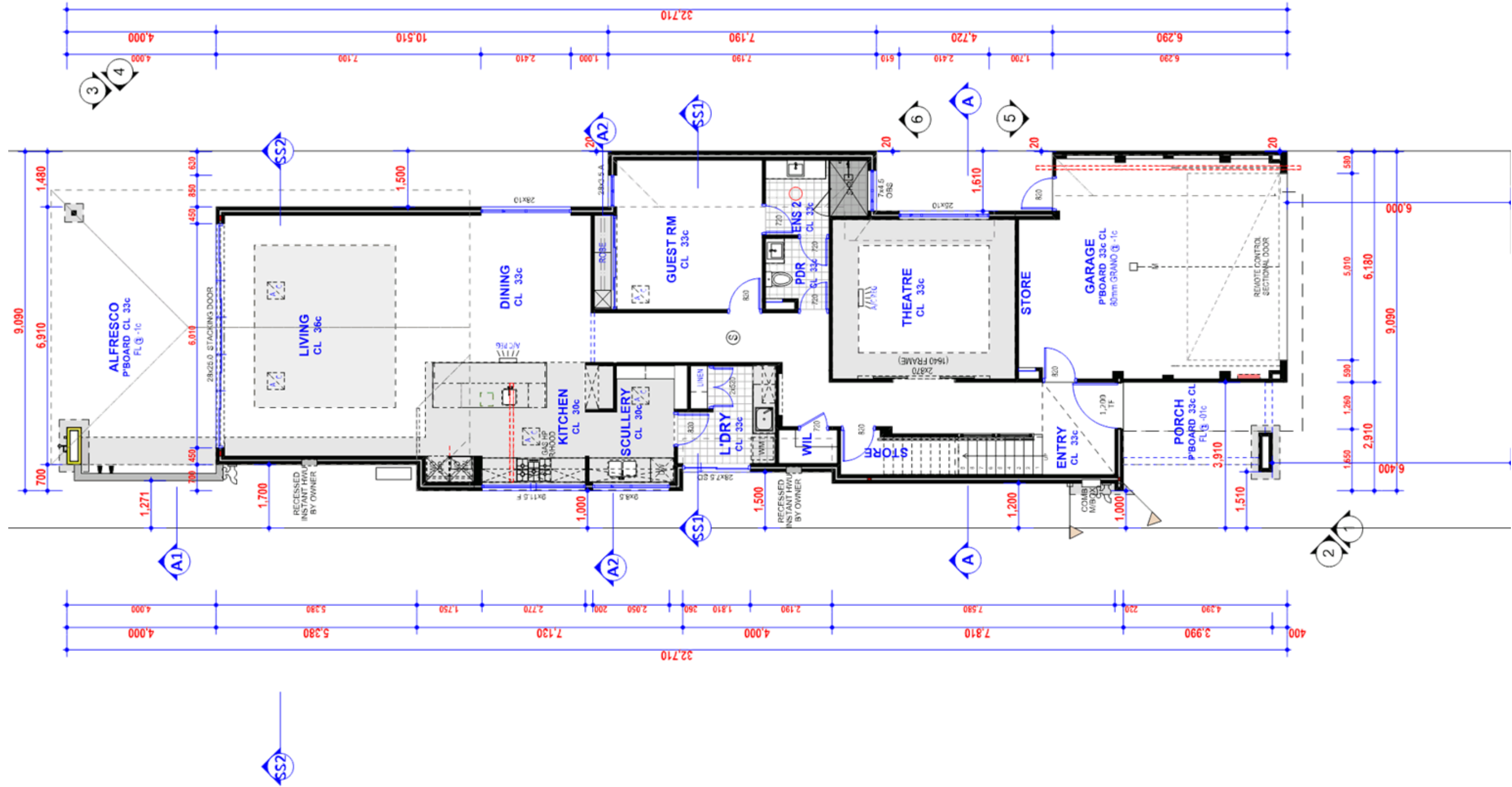


ILLUSTRATIONS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. THESE ILLUSTRATIONS MAY DEPICT FEATURES NOT INCLUDED IN SPECIFICATION INCLUDING, BUT NOT LIMITED TO, GARDEN FEATURES, LANDSCAPING, PLANTER BOXES, RETAINING WALLS, EXPOSED WASHED AGGREGATE CONCRETE, DESIGNER GARAGE DOORS, FEATURE CLADDING, GATES, FENCING, LETTERBOXES AND DECORATOR ITEMS.









AREAS	
GROUND	175.17
GARAGE	38.31
ALFRESCO	27.44
PORCH	8.89
STORE	4.31
<b>TOTAL</b>	<b>254.12 m<sup>2</sup></b>



SHEET: <b>2 OF 6</b>	HOUSE TYPE: <b>INDIVIDUAL</b>
JOB No: <b>843</b>	PROJECT: <b>LUM &amp; MORGAN RESIDENCE LOT 889 (No.69) AXFORD STREET, COMO</b>

DRAWING: <b>FLOOR PLAN</b>	SCALE: 1:100
<b>PLANNING DRAWINGS</b>	DRAWN BY: VN-RIK
1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.	PREPARED BY: ??
2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	DATE: 14/05/2019
REVISION: <b>DA 5</b>	

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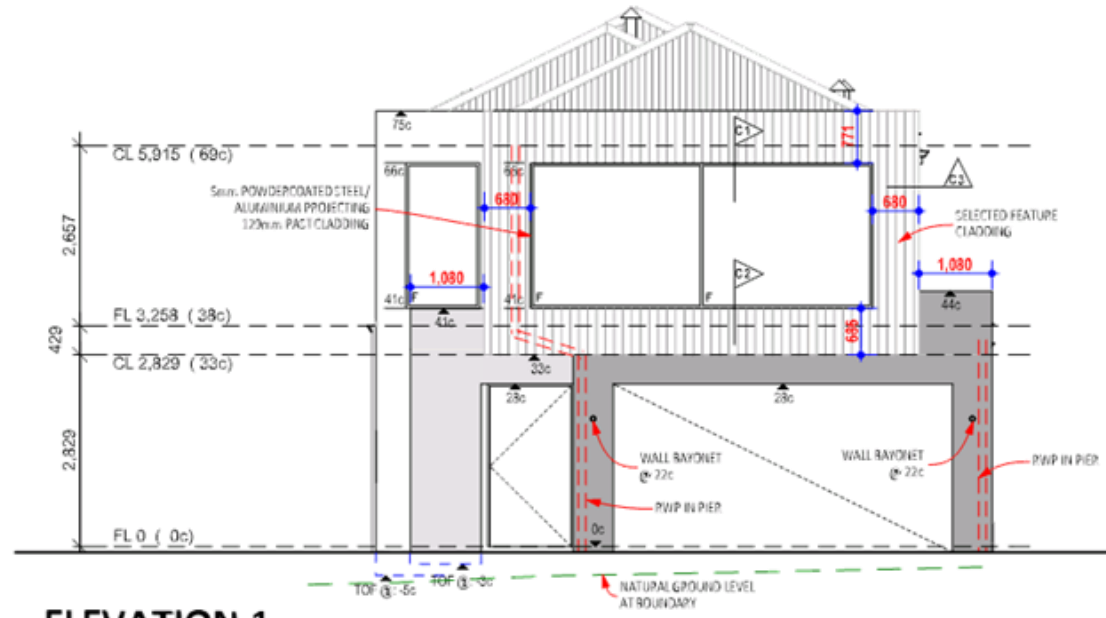
**novushomes**  
CREATIVE LIFESTYLE SOLUTIONS

32 Mumford Place, Balcatta, W.A. (08) 9240 1969  
Builders Registration Number: 8967

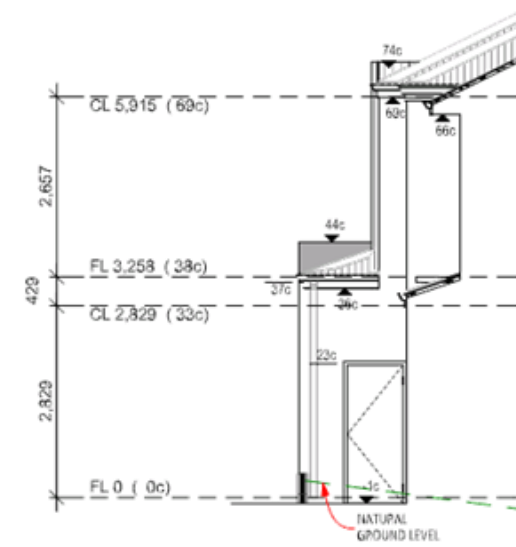


**ROOFING NOTE:**  
ROOF FRAMING TO A.S 1534  
**COLORBOND ROOF**  
25°34' PITCH TO FIRST FLOOR  
18°47' TO GROUND FLOOR  
18°47' TO GROUND FLOOR GARAGE

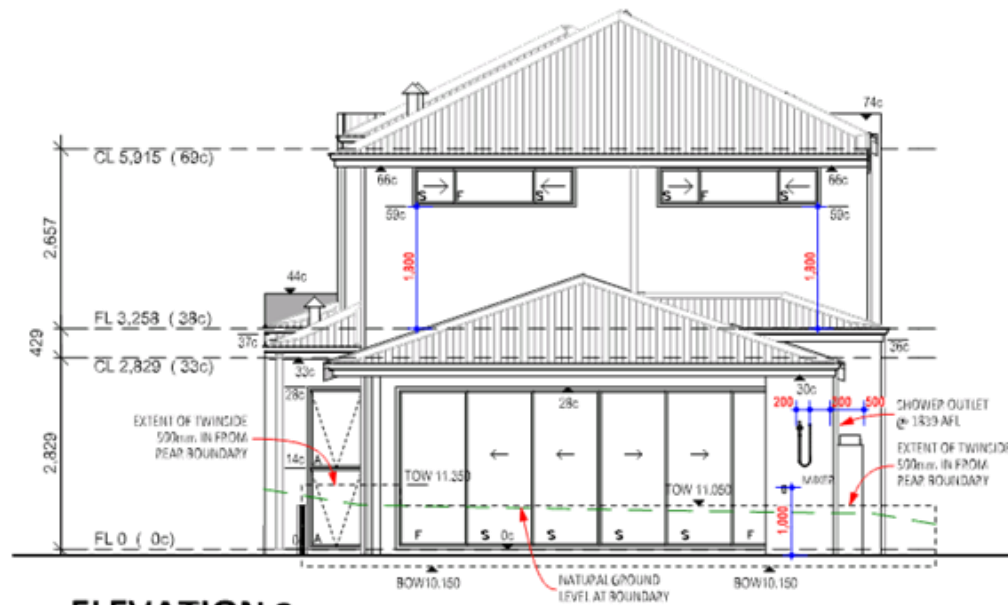
□ - CONTRACTING COLOUR  
■ - CONTRACTING COLOUR #2



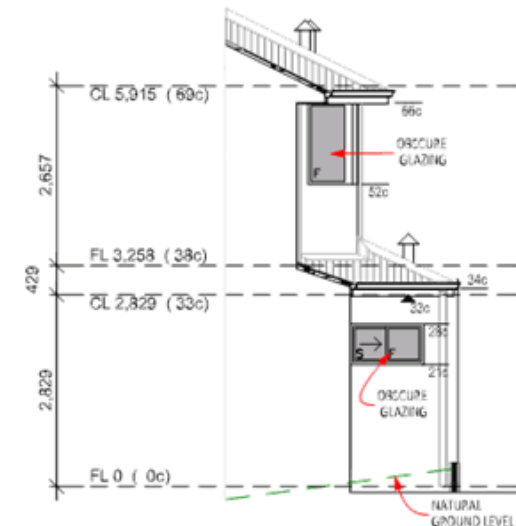
**ELEVATION 1**



**ELEVATION 5**



**ELEVATION 3**



**ELEVATION 6**

SHEET: <b>4 OF 6</b>	HOUSE TYPE: <b>INDIVIDUAL</b>	DRAWING: <b>ELEVATIONS</b>	SCALE: 1:100, 1:50
	PROJECT: <b>LUM &amp; MORGAN RESIDENCE LOT 889 (No.69) AXFORD STREET, COMO</b>	<b>PLANNING DRAWINGS</b>	DRAWN BY: VN-RIK
JOB No: <b>843</b>		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	PREPARED BY: ??
		REVISION: <b>DA 5</b>	DATE: 14/05/2019

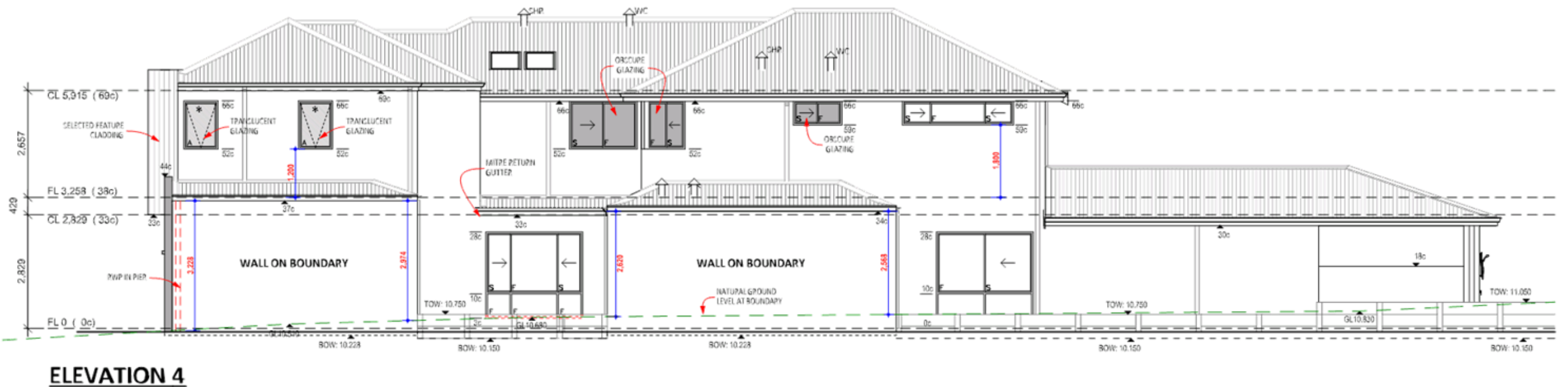
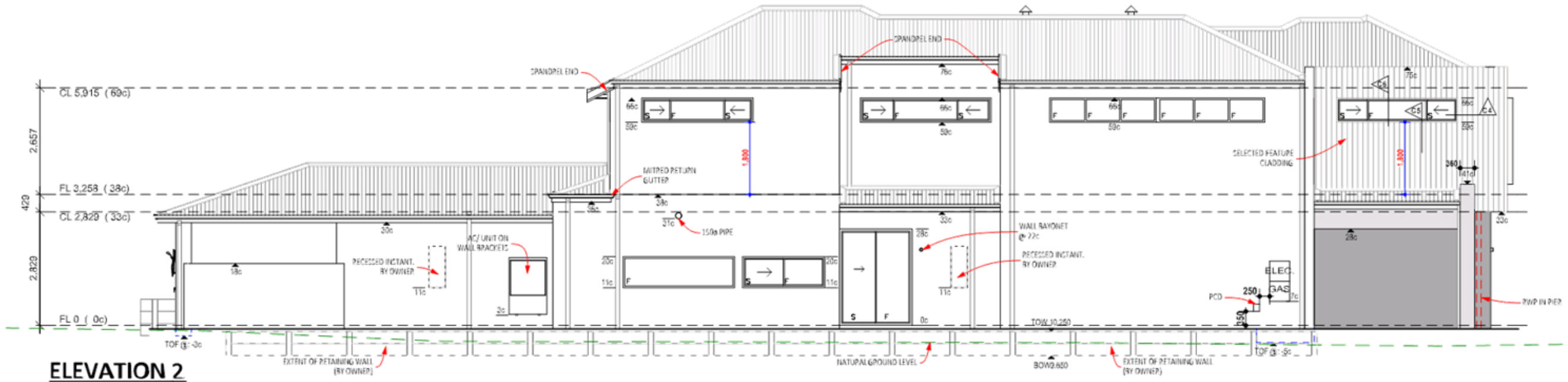
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32 Mumford Place, Balcatta, W.A. (08) 9240 1969  
Builders Registration Number: 8967



**ROOFING NOTE:**  
ROOF FRAMING TO A.S 1534  
**COLORBOND ROOF**  
25°34' PITCH TO FIRST FLOOR  
18°47' TO GROUND FLOOR  
18°47' TO GROUND FLOOR GARAGE

□ - CONTRACTING COLOUR  
■ - CONTRACTING COLOUR #2



SHEET: <b>5 OF 6</b>	HOUSE TYPE: <b>INDIVIDUAL</b>	DRAWING: <b>ELEVATIONS 2</b>	SCALE: 1:100
	PROJECT: <b>LUM &amp; MORGAN RESIDENCE LOT 889 (No.69) AXFORD STREET, COMO</b>	<b>PLANNING DRAWINGS</b>	DRAWN BY: VN-RIK
JOB No: <b>843</b>		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	REVISION: <b>DA 5</b>
			PREPARED BY: ?? DATE: 14/05/2019

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CREATIVE LIFESTYLE SOLUTIONS

32 Mumford Place, Balcatta, W.A (08) 9240 1969  
Builders Registration Number: 8967





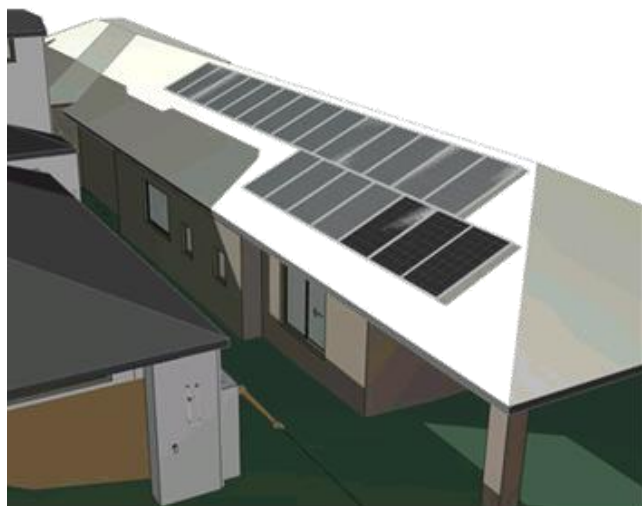
MAY 15 9am



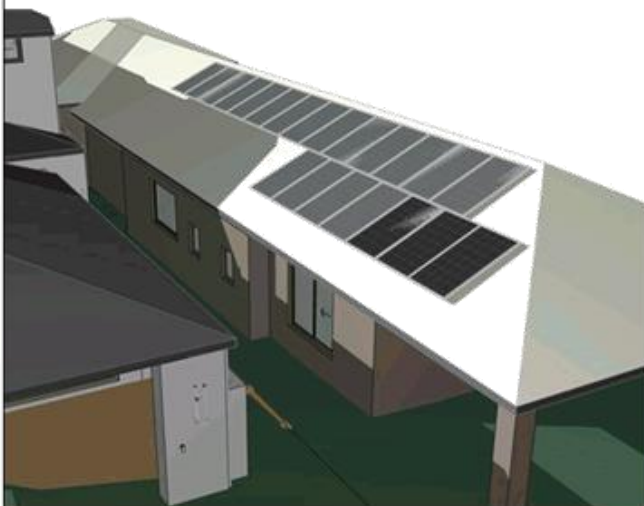
JUNE 21 9am



JULY 15 9am



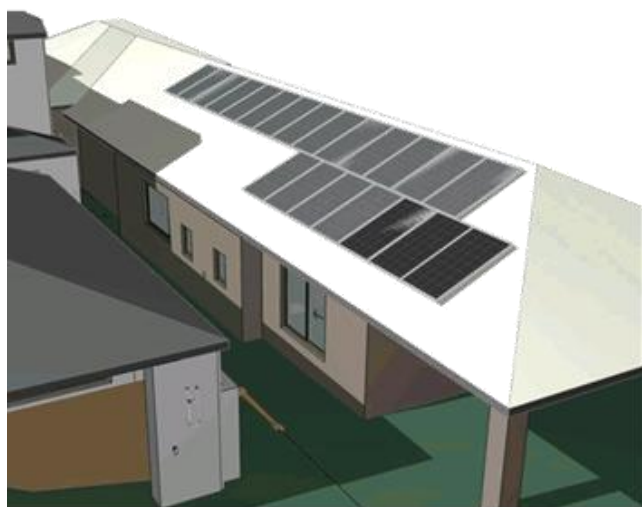
MAY 15 10am



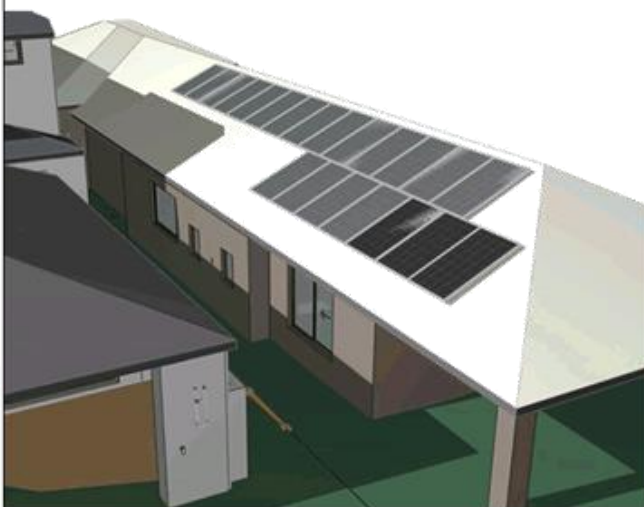
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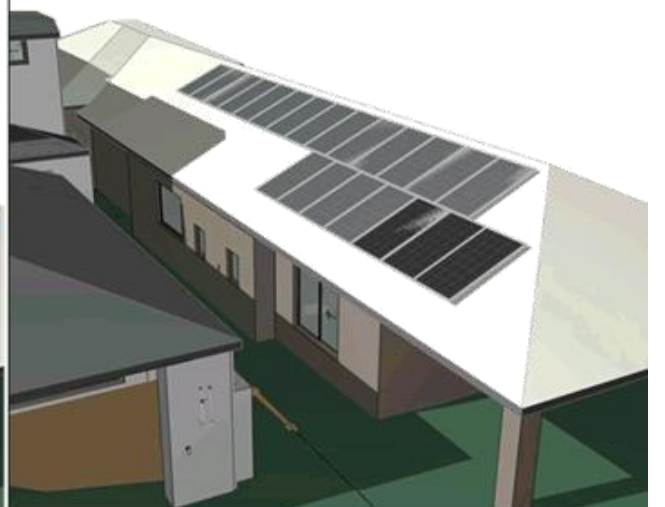
JULY 15 10am



MAY 15 12noon



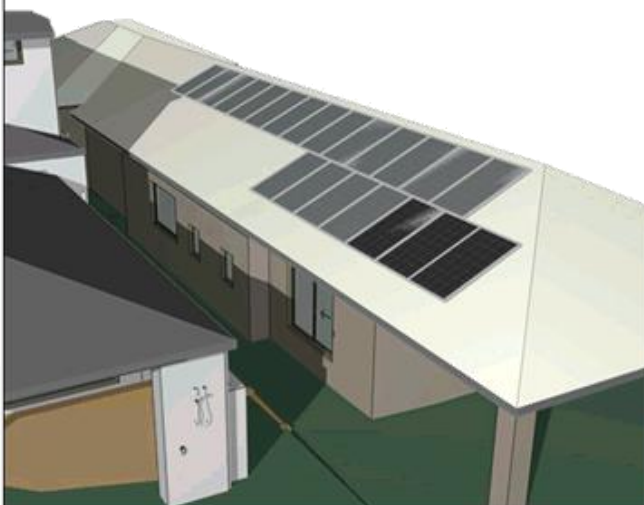
JUNE 21 12noon



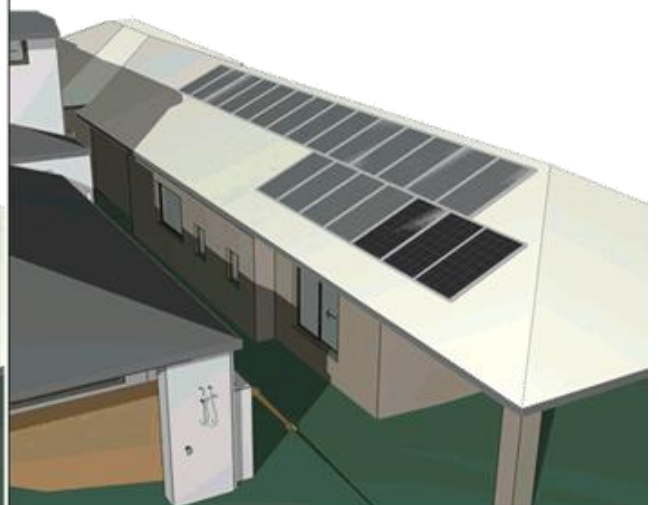
JULY 15 12noon



MAY 15 3pm



JUNE 21 3pm

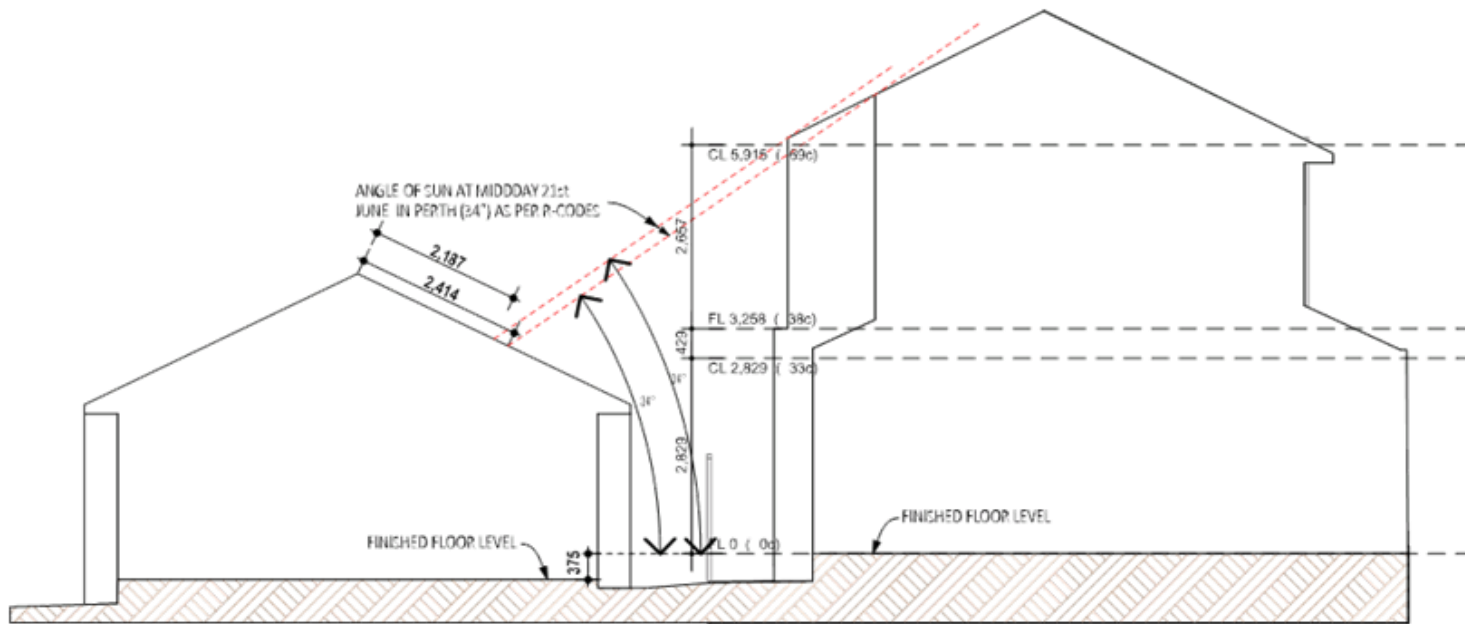


JULY 15 3pm

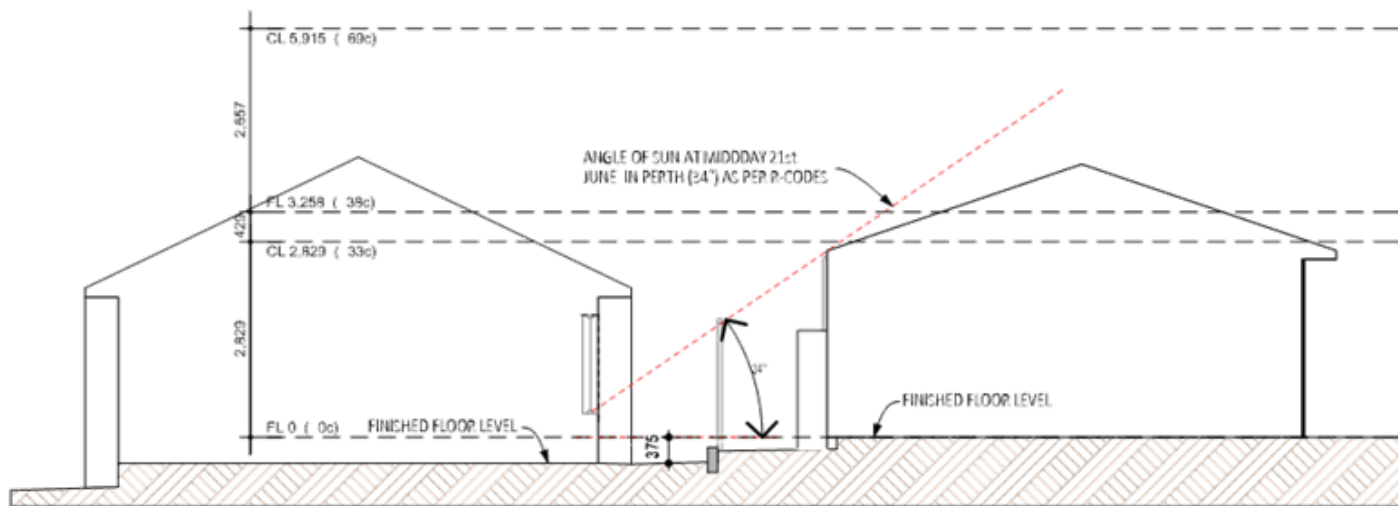
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SHEET: <b>6 OF 6</b>	HOUSE TYPE: <b>INDIVIDUAL</b>	DRAWING: <b>OVERSHADOWING</b>	SCALE: 1:400
	PROJECT: <b>LUM &amp; MORGAN RESIDENCE LOT 889 (No.69) AXFORD STREET, COMO</b>	<b>PLANNING DRAWINGS</b>	DRAWN BY: VN-NIX
JOB No: <b>843</b>		REVISION: <b>DA 5</b>	PREPARED BY: ??
		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.	DATE: 14/05/2019
		2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	


32 Mumford Place, Balcatta, W.A. (08) 9240 1969  
Builder's Registration Number: 8967



(SS1) DOUBLE LEVEL SOLAR SECTION  
1:100



(SS2) SINGLE LEVEL SOLAR SECTION  
1:100

SHEET: 7 OF 6		HOUSE TYPE: <b>INDIVIDUAL</b>	DRAWING: <b>SOLAR SECTIONS</b>	SCALE: 1:100	 novushomes CREATIVE LIFESTYLE SOLUTIONS 32 Mumford Place, Balcatta, W.A. (08) 9240 1969 Builders Registration Number: 8967
PROJECT: <b>LUM &amp; MORGAN RESIDENCE LOT 889 (No.69) AXFORD STREET, COMO</b>		<b>PLANNING DRAWINGS</b>		DRAWN BY: VN-NIX	
JOB No: <b>843</b>		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.		PREPARED BY: ??	
		2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.		DATE: 14/05/2019	
		REVISION: <b>DA 5</b>			



Site Visit Photos – 69 Axford Street – Two storey Single House – 11.2019.28.1







# SOUTH PERTH PARKING MAP

APRIL 2019

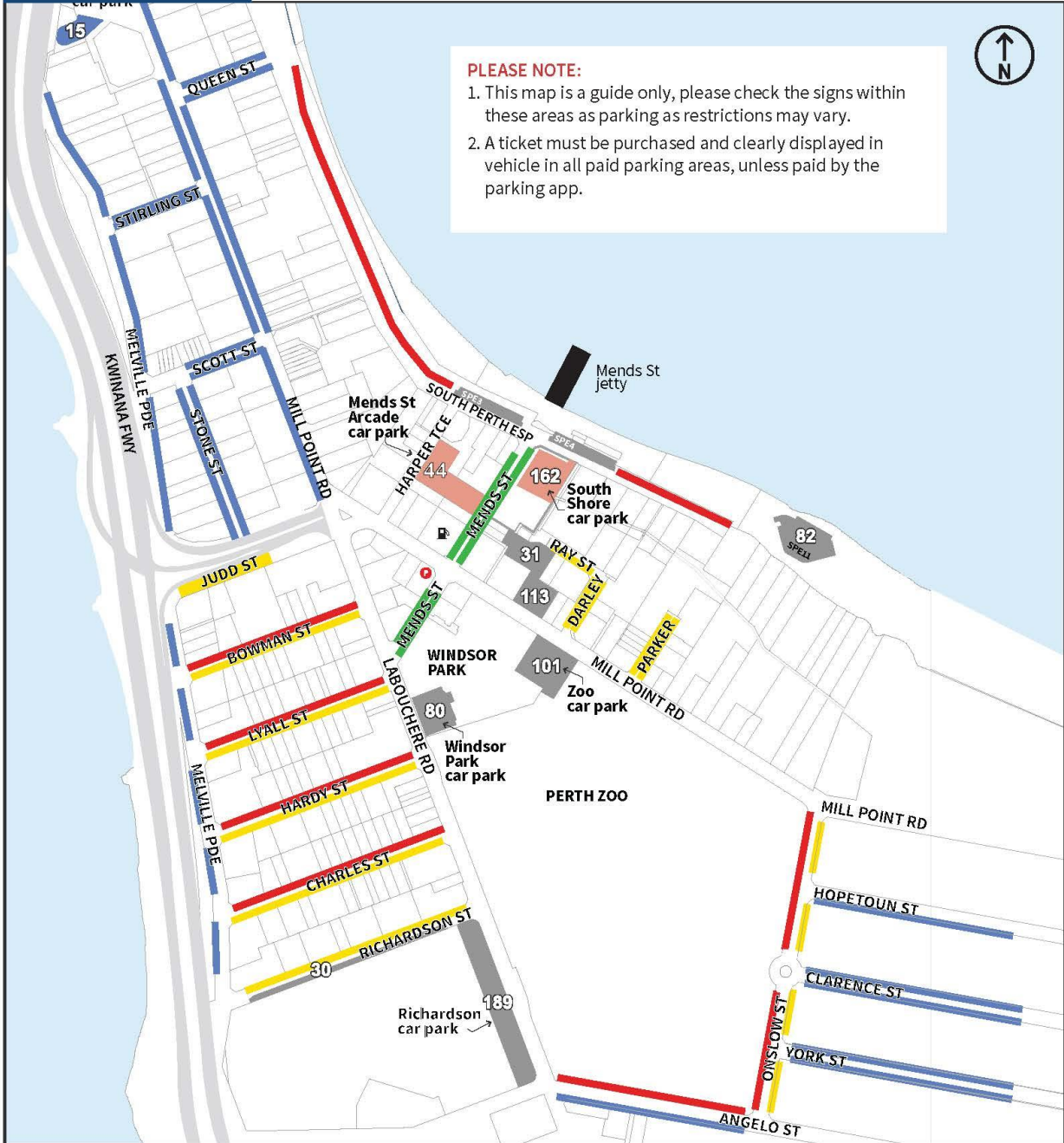
### On-street parking

- FREE (check signs)
- 2P maximum FREE (check signs)
- 4P maximum FREE (check signs)
- Paid parking (check signs)

### Off-street parking

- Paid carpark (check signs)
- Paid, first hour FREE (check signs)

 Number of parking bays



P 9474 0777 E enquiries@southperth.wa.gov.au  
[www.southperth.wa.gov.au](http://www.southperth.wa.gov.au)





P 9474 0777 E enquiries@southperth.wa.gov.au  
www.southperth.wa.gov.au

	Street	Connecting Street	Connecting Street	Restriction	Cost
<b>1P maximum FREE</b> (check signs)	Mends Street	Mill Point Road	Labouchere Road	1P maximum between 8am and 6pm Mon-Sun	FREE
	Mends Street	South Perth Esplanade	Mill Point Road	1P maximum between 9am and 5:30pm Mon-Sun	FREE
<b>2P maximum FREE</b> (check signs)	Bowman Street - Southern Side	Labouchere Road	Melville Parade (south)	2P maximum between 8am and 6pm Mon-Sun	FREE
	Charles Street - Southern Side	Labouchere Road	Melville Parade (south)	2P maximum between 8am and 6pm Mon-Sun	FREE
	Darley Street	Mill Point Road	Ray Street	2P maximum between 8am and 6pm Mon-Sun	FREE
	Hardy Street - Southern Side	Labouchere Road	Melville Parade (south)	2P maximum between 8am and 6pm Mon-Sun	FREE
	Judd Street	Labouchere Road	Melville Parade (south)	2P maximum between 8am and 6pm Mon-Sun	FREE
	Lyll Street - Southern Side	Labouchere Road	Melville Parade (south)	2P maximum between 8am and 6pm Mon-Sun	FREE
	Onslow Street (Eastern Side)	Angelo Street	Mill Point Road	2P maximum between 8am and 6pm Mon-Sun	FREE
	Parker Street	Mill Point Road	Cul-De-Sac	2P maximum between 8am and 6pm Mon-Sun	FREE
	Ray Street	Mill Point Road	Darley Street	2P maximum between 8am and 6pm Mon-Sun	FREE
	Richardson Street - Northern Side	Labouchere Road	Melville Parade (south)	2P maximum between 8am and 6pm Mon-Sun	FREE
<b>4P maximum FREE</b> (check signs)	Angelo Street (Southern Side)	Labouchere Road	Onslow Street	4P maximum between 8am and 6pm Mon-Sun	FREE
	Melville Parade	Richardson Street	Judd Street	4P maximum between 8am and 6pm Mon-Sun	FREE
	Melville Parade	Northern Section	Near Old Mill	4P maximum between 8am and 6pm Mon-Sun	FREE
	Queen Street	Mill Point Road (North)	South Perth Esplanade	4P maximum between 8am and 6pm Mon-Sun	FREE
	Scott St	Mill Point Road	Melville Parade	4P maximum between 8am and 6pm Mon-Sun	FREE
	Stirling St	Mill Point Road	Melville Parade	4P maximum between 8am and 6pm Mon-Sun	FREE
	Stone Street	Scott Street	Cul-De-Sac	4P maximum between 8am and 6pm Mon-Sun	FREE
	Mill Point Road	Labouchere Road	Mill Point Close	4P maximum between 9am and 5pm Mon-Fri	FREE
<b>Paid parking</b> (check signs)	South Perth Esplanade (on street, northern side)	Queen Street	Car park	Fee payable at all times	check signs
	Bowman Street - Northern Side	Labouchere Road	Melville Parade (south)	Fee payable between 8am and 6pm Mon-Sun	check signs
	Charles Street - Northern Side	Labouchere Road	Melville Parade (south)	Fee payable between 8am and 6pm Mon-Sun	check signs
	Hardy Street - Northern Side	Labouchere Road	Melville Parade (south)	Fee payable between 8am and 6pm Mon-Sun	check signs
	Lyll Street - Northern Side	Labouchere Road	Melville Parade (south)	Fee payable between 8am and 6pm Mon-Sun	check signs
	Richardson Street (Southern Side)	Labouchere Road	Melville Parade (south)	Fee payable between 8am and 6pm Mon-Sun	check signs
	Angelo Street (Zoo side)	Labouchere Road	Onslow Street	Fee payable between 9am and 4pm Mon-Fri	check signs
	Onslow Street (Zoo Side)	Angelo Street	Mill Point Road	Fee payable between 9am and 4pm Mon-Fri	check signs
<b>Paid carpark</b> (check signs)	Richardson Reserve car park			Fee payable between 8am and 6pm Mon-Sun	check signs
	SPE 3 - South Perth Esplanade			Fee payable between 8am and 6pm Mon-Sun	check signs
	SPE 4 - South Perth Esplanade			Fee payable between 8am and 6pm Mon-Sun	check signs
	SPE 11 - South Perth Esplanade			Fee payable between 8am and 6pm Mon-Sun	check signs
	Zoo car park			Fee payable between 8am and 6pm Mon-Sun	check signs
	Windsor Park car park			Fee payable between 8am and 6pm Mon-Sun	check signs
<b>Paid carpark</b> <b>first hour FREE</b> (check signs)	South Shore car park			Fee payable at all times, first hour FREE	check signs
	Medns St Arcade car park			Fee payable at all times, first hour FREE	check signs



**SOUTH PERTH**  
**PROPOSED**  
**PAID PARKING MAP**  
**23 MAY 2019/20**

**Parking**

	\$2.00 per hour/\$6 all day
	\$2.00 per hour/\$8 all day
	\$2.50 per hour/\$8 all day
	\$2.50 per hour
	\$3 per hour

	4P maximum FREE (check signs)
	2P maximum FREE (check signs)
	FREE (check signs)

**PLEASE NOTE:**

1. This map is a guide only, please check the signs within these areas as parking as restrictions may vary.
2. A ticket must be purchased and clearly displayed in vehicle in all paid parking areas, unless paid by the parking app.



**PROPOSED**



P 9474 0777 E enquiries@southperth.wa.gov.au  
www.southperth.wa.gov.au



**COODE ST  
PRECINCT  
PROPOSED  
PAID PARKING MAP**

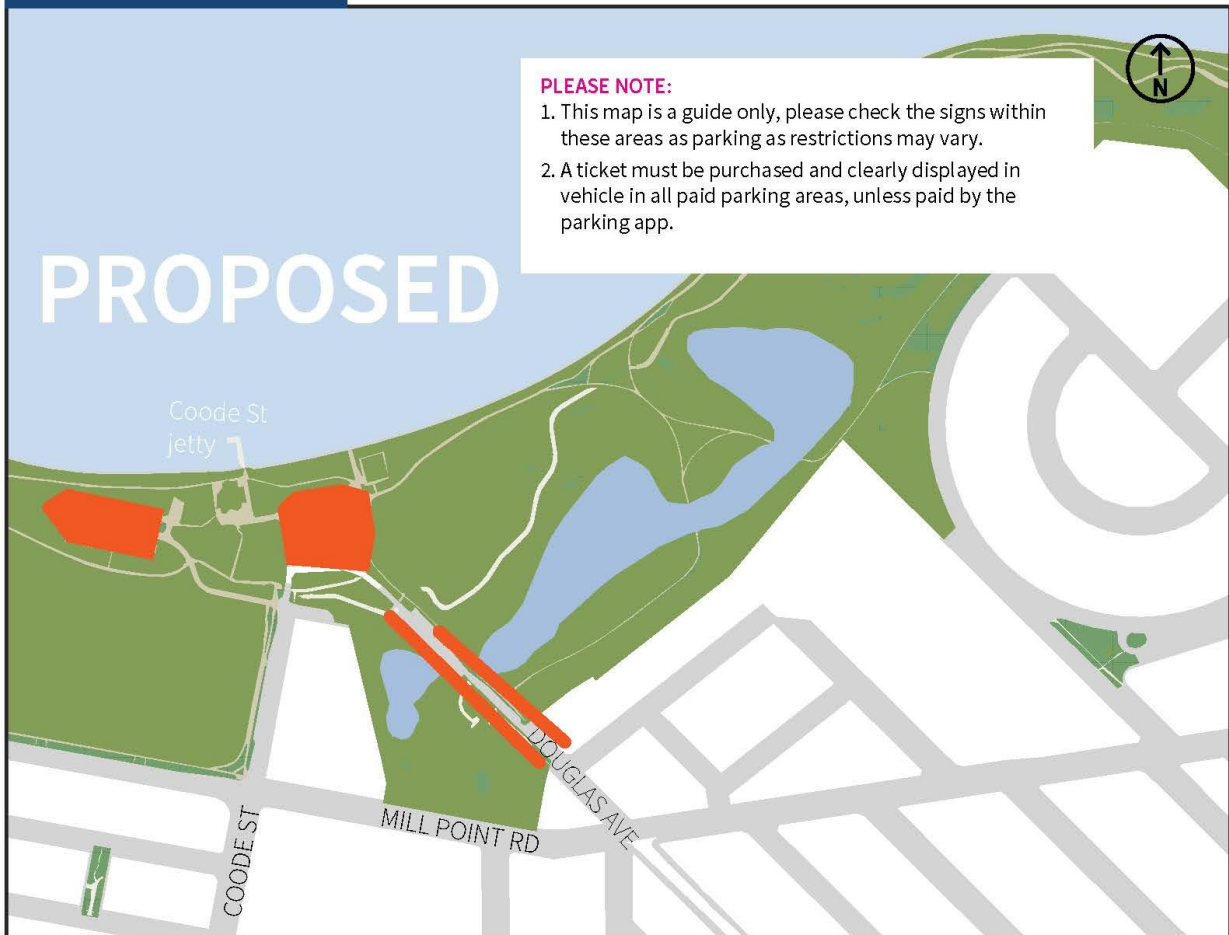
**23 MAY 2019/20**

**Parking**

 \$2 per hour/\$8 all day

**PLEASE NOTE:**

1. This map is a guide only, please check the signs within these areas as parking as restrictions may vary.
2. A ticket must be purchased and clearly displayed in vehicle in all paid parking areas, unless paid by the parking app.



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