

ATTACHMENTS

Ordinary Council Meeting

26 April 2016

Attachments Part 2 of 2:
Items 7.2.1 & 10.3.1 - 10.6.4

ATTACHMENTS TO AGENDA ITEMS

Ordinary Council Meeting - 26 April 2016

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Council Agenda Briefing 19 April 2016

Venue: South Perth Community Hall
Date: Tuesday 19 April 2016
Time: 5.30 pm

Declaration of Opening

The Presiding Member opened the Agenda Briefing at 5.31pm and welcomed everyone in attendance.

Attendance

Sue Doherty Mayor (Presiding Member)

Councillors

Glenn Cridland	Como Ward (from 6.01pm)
Jessica Black	Como Ward
Sharron Hawkins-Zeeb	Manning Ward (from 5.52pm)
Colin Cala	Manning Ward
Fiona Reid	Moresby Ward
Cheryl Irons	Mill Point Ward
Ken Manolas	Mill Point Ward

Officers

Geoff Glass	Chief Executive Officer
Vicki Lummer	Director Development and Community Services
Mark Taylor	Director Infrastructure Services
Michael Kent	Director Financial and Information Services
Phil McQue	Manager Governance and Administration
Rajiv Kapur	Manager Development Services
Rod Bercov	Strategic Urban Planning Adviser
Sharron Kent	Governance Officer
Katie Breese	Governance Project Officer
Zoe Cornish	Marketing Coordinator
Maria Noakes	Communications Officer

Gallery

There were approximately 150 members of the public and 0 members of the press present.

Apologies

Travis Burrows Moresby Ward

Leave of Absence

Nil.

Audio Recording of Council Meeting

The Presiding Member advised that no person was to record proceedings of the Briefing in accordance with Council Policy P673 and Clause 6.15 of the Standing Orders Local Law and asked that everyone turn their mobiles off or on to silent.

Deputations

Deputations were heard firstly on Items other than Item 10.0.1, from the following:

- Kevin Broughton of Planning Solutions speaking FOR the Officer Recommendation in relation to *Item 10.3.4 Proposed Local Development Plan for Lot 240 (57) Swanview Terrace, South Perth*.
- Harry Anstey of 21 River View Street, South Perth speaking AGAINST the Officer Recommendation in relation to *Item 10.3.5 Proposed Policy P318 South Perth Station Precinct Application Requirements*).

Deputations were then heard on *Item 10.0.1 Town Planning Scheme Amendment No. 46 'South Perth Station Precinct'*, from the following:

	NAME / GROUP	SPOKESPERSON
1.	Richardson One Group	Margot Blakely
2.	Strata for 24 Charles St	Paul Ruthven
3.	South Perth Peninsula Group	Vicki Redden
4.	Richard Hawley	Richard Hawley
5.	Geoff Ogden – Windsor Hotel	Sean Fairfoul – Rowe Group
6.	Greg Benjamin	Greg Benjamin
7.	73 Mill Point Road Residents (Wendy Hogan & Karryl Nairn)	Mike Allen (Planner)
8.	Harry Anstey	Harry Anstey
9.	Greg McAlpine	Greg McAlpine
10.	Better South Perth	Paul Plowman
11.	Australian Institute of Architects	Peter Hobbs
12.	TPG	Dan Lees
13.	Kevin Trent	Kevin Trent
14.	Julius Solomons	Julius Solomons
15.	Small Lot Owners in the Precinct	John Garmony

April 2016 Draft Reports

The CEO gave a brief summary of the April 2016 Agenda Items to be considered by Council:

10.0.1 Modified 'Complex' Amendment No. 46 to Town Planning Scheme No. 6: South Perth Station Precinct. Second Report on Submissions (Item 7.0.1 27 October 2015 Council Meeting)

This Report was the subject of Deputations this evening.

Amendment No. 46 to the City's Town Planning Scheme No. 6 was initiated at the October 2014 Council meeting.

On 27 October 2015, after considering public submissions on the originally advertised version of Amendment No. 46, the Council decided to invite comments on significant modifications to the Amendment.

'Second-round' community comments have been invited and a total of 882 submissions were received. Having considered the numerous 'supporting' and 'opposing' submissions received following the 'second-round' advertising of the five significant modifications, it is recommended that the Council recommend to the Minister for Planning that Amendment No. 46 be approved with modifications to the extent described in the Report on Submissions.

10.3.1 Proposed Three (3) Storey Single House. Lot 810 (No. 46) River Way, Salter Point.

This report seeks Council's consideration of this application for planning approval.

10.3.2 Proposed Retrospective Boundary Fence Greater than 1.8m in Height. Lot 48 (No. 150) Lockhart Street, Como & Lot 49 (No. 8) Wooltana Street, Como

This report seeks Council's consideration of this retrospective application for a boundary fence greater than 1.8m in height.

10.3.3 Proposed Addition of Use Not Listed (Gaming). Lot 253 No. 243 Canning Highway, South Perth.

This report seeks Council's consideration of this application for planning approval.

10.3.4 Proposed Local Development Plan for Lot 240 No. 57 Swanview Terrace, South Perth

This report was the subject of a Deputation this evening.

This report seeks Council's consideration of an indicative local development plan for the creation of 5 survey strata residential lots.

10.3.5 Proposed Policy P318 South Perth Station Precinct Application Requirements

This report was the subject of a Deputation this evening.

Proposed Policy P318 seeks to:

- provide guidance on the information requirements for applications within the South Perth Station Precinct.
- promote development designs that are respectful to their surrounds and consider the current and future amenity of the location.

The draft policy will be advertised for public comment.

10.6.1 Monthly Financial Management Accounts - March 2016

This report presents to Council the monthly management account summaries comparing the City's actual performance against budget expectations with comment provided on the significant financial variances disclosed in those reports.

10.6.2 Statement of Funds, Investments and Debtors at 31 March 2016

This report presents to Council a statement summarising the effectiveness of treasury management for the month.

10.6.3 Listing of Payments

This report presents to Council a list of accounts paid under delegated authority between 1 March 2016 and 31 March 2016.

10.6.4 Budget Review for the Period ended 31 March 2016

This report seeks Council's endorsement of the Officer Recommendation following a comprehensive review of the 2015/2016 Adopted Budget for the period to 31 March 2016.

The underlying theme of the review is to ensure that a 'balanced budget' funding philosophy is retained.

10.6.5 Capping of Pensioner Rebate

This report seeks Council's endorsement of a recommendation pertaining to the capping of the pensioner rebate, seeking the support of the Western Australian Local Government Association to advocate for and coordinate an industry wide notification and media communication response to the capping of pensioner rebates.

10.7.1 Recommendations from the CEO Evaluation Committee Meeting - 30 March 2016

This report seeks Council's consideration of the recommendations of the CEO Evaluation Committee put forward at its meeting of 30 March 2016.

Closing

The Presiding Member reminded the meeting that the time of the Ordinary Council meeting scheduled for Tuesday 26 April 2016 was brought forward to 6.00pm.

She then closed the Agenda Briefing at 7.33pm and thanked everyone for their attendance.

LOCAL DEVELOPMENT PLAN PROVISIONS

LOCAL DEVELOPMENT PLAN

TOWN PLANNING SCHEME NO. 6

LOT 240 (57) SWANVIEW TERRACE, SOUTH PERTH
PRECINCT 4: HURLINGHAM

This Local Development Plan (LDP) relates to Lot 240 (57) Swanview Terrace, South Perth. Specifically proposed Lots 1-5, the subject of application for survey-strata subdivision WAPC Ref. 1367-15.

The purpose of this LDP is to set out the development requirements for the land subject of application for survey-strata subdivision WAPC Ref. 1367-15, incorporating the relevant requirements of the City of South Perth's Town Planning Scheme No. 6 and State Planning Policy 3.1 Residential Design Codes.

The following provisions apply to all applications for development on land the subject of this LDP:

GENERAL

1. The provisions of the City of South Perth's Town Planning Scheme No. 6 and State Planning Policy 3.1 Residential Design Codes apply unless otherwise varied below.

2. No planning approval is required under clause 7.1 of the City of South Perth's Town Planning Scheme No. 6 where proposed development on the land which this LDP relates to is compliant with the provisions of this LDP.

RESIDENTIAL DESIGN CODE

3. The Residential Design Code applicable to land subject of this LDP is R40, as per the City of South Perth's Town Planning Scheme No. 6 map.

BUILDING HEIGHT

4. Building heights shall be 7.0m as per the relevant provisions of the City of South Perth's Town Planning Scheme No. 6.

SETBACKS

5. All setbacks as per Residential Design Codes unless otherwise provided for in this LDP.

LANDSCAPING

6. The portion of the site forward of the proposed building and extending to the primary street boundary must incorporate landscaping of exceptional quality, which is visible from the primary street. The term 'exceptional quality' means landscaping of a standard which the City of South Perth considers to be exceptional, comprising the following:

a. Reticulated planting including at least one tree with a minimum height of 3.0m when planted which, in the opinion of the Council, is likely to grow to a minimum height of 4.0 metres within 12 months; and

b. Other decorative landscaping features.

7. The landscaped area must be fenced above a height of 1m other than by way of open grille type material, extending to a maximum height of 1.8m, with the solid components between any supporting piers comprising no more than 20%. The remaining 80% of the space between piers shall be open so as to preserve a clear view of the landscaped area and of the building façade.

CAR PARKING

8. Car parking shall be provided at two bays per dwelling in accordance with the requirements for Location B of clause 5.3.3 (C3.1) of the R-Codes.

INCIDENTAL DEVELOPMENT REQUIREMENTS

9. Garages may be incorporated into the ground floor of a dwelling.

This LDP has been approved under clause 52(1)(a) of the deemed provisions of the Planning and Development (Local Planning Schemes) Regulations 2015.

Planning Manager,
City of South Perth

Date

LEGEND

Extent of LDP

100

Lot Numbers

Nil Vehicle Access

Nil Setback

Ground Floor Setback

Landscaping

Alfresco

Dwelling Orientation

Garage Location

Vehicular Parking

LOCATION PLAN

PLANNING SOLUTIONS

URBAN & REGIONAL
PLANNING

SCALE

1:200 @ A3

DATE

11 February 2018

FILE

180215-14018 Local Development Plan.dwg

REVISION

2/01/18/11/02/2018

1/01/18/11/02/2018

LOCAL DEVELOPMENT PLAN

LOT 240 (57) SWANVIEW TERRACE

SOUTH PERTH, WESTERN AUSTRALIA

Ordinary Council Meeting 26 April 2016

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PSA Ref: 4465
WAPC Ref: 1367-15

15 January 2016

Chief Executive Officer
City of South Perth
Civic Centre, Corner Sandridge Street and South Terrace
SOUTH PERTH WA 6151

Attention: Erik Dybdahl, Development Services

Dear Sir/Madam,

**LOT 240 (57) SWANVIEW TERRACE, SOUTH PERTH
LOCAL DEVELOPMENT PLAN**

Planning Solutions acts on behalf of JCM Property Group, the proponent of the proposed Local Development Plan at Lot 240 (57) Swanview Terrace, South Perth (**subject site**).

We refer to the meeting held on Tuesday 22 December 2015 at the City of South Perth's (**City**) offices, at which a Local Development Plan (**LDP**) for the subject site was discussed.

We provide the following draft LDP applicable to the subject site to seek the City's comments and support for formal lodgement.

Refer **Appendix 1** for the draft LDP. An explanation of the LDP and provisions follows.

Planning and Development (Local Planning Schemes) Regulations 2015 – Framework for Local Development Plans

The Planning and Development (Local Planning Schemes) Regulations 2015 – Framework for Local Development Plans (**LDP Framework**) constitutes the manner and form in which a LDP is to be prepared. A LDP has been prepared for the subject site as it is undergoing the survey-strata process and will result in five lots which each have an area less than 260m², consistent with R40 coding. The provisions of the LDP Framework have been given due regard in preparation of the LDP.

The following matters are addressed by the LDP, as required by the LDP Framework:

- Lot details;
- Building Envelope;
- Vehicle Access and Parking;
- Fencing and Retaining Walls;
- Private Open Space; and
- Landscaping.

LDP Composition

The LDP's design responds to the subject site's specific characteristics and locational advantages, considering the site fronts the South Perth foreshore and can take advantage of views of Perth CBD and Swan River environs.

The development provisions of the LDP (specifically building height, setbacks and open space) are proposed as such so dwellings are built to capture the site's full potential without adversely affecting adjacent landowners. The LDP provisions are tailored to the subject site having regard to the surrounding land uses.

City of South Perth Town Planning Scheme No. 6

The City's Town Planning Scheme No. 6 sets out requirements which must be met in order to achieve a higher R-Code density, where a split density applies. The subject site is zoned R20/40 under TPS6. The following requirements are addressed by the LDP to specifically respond to Scheme requirements.

Landscaping

The LDP requires the front setback area of each dwelling incorporate landscaping of 'exceptional quality', highly visible from the street in accordance with the performance criteria set out in Schedule 3 of TPS6 for the dual density coding R20/40 within the Hurlingham Precinct.

Visitors' Car Parking

Having regard to the visitors' car parking requirements set out by the R-Codes, we note the visitors' car parking requirements do not apply in this instance as the lots will be developed for Single House, and not Grouped Dwellings. Therefore, this does not need to be addressed in order to achieve R40 density.

Residential Design Codes

The following building design requirements of the R-Codes are incorporated into the LDP provisions. Where necessary, some R-Codes requirements are varied in order to achieve a higher quality design outcome.

Building Height

Building heights will be in accordance with the requirements set out in *Table 3: Maximum Building Heights* of the R-Codes. Category B and C have been selected to be consistent with the heights of adjoining and adjacent buildings (including those which are 3 storeys).

Open Space

Minimum open space requirements will be varied from the R-Codes. The physical characteristics of the lots do not lend themselves to providing 45% for open space, as the lots are narrow and range from 180m² to 242m². An applicable requirement of 30% is sufficient and will accommodate foreshore views, winter sun and south-western ventilation.

Setbacks

Setbacks will generally be as per R-Codes requirements. Dwellings sharing lot boundaries will have a nil setback to maximise development potential and general amenity. Detailed design elements such as major openings will be determined by the R-Codes.

Garages

Having regard to the size and composition of the lots, garages will be set back 3m from the street, and will be incorporated into the ground floor of dwellings where appropriate. This will effectively allow upper storeys to be built above garages and maximise development potential.

Conclusion

A LDP is being informally provided to the City which sets out development provisions intended to reach a high quality built form outcome. The LDP in its current form should be supported by the City with no modifications required for the following reasons:

1. The end result will be five single houses which are highly attractive, with exceptional landscaping and will improve the amenity of the locality.
2. The specific design requirements have been closely contemplated so as not to have any adverse impacts on adjoining neighbours.
3. The LDP provisions are proposed as such to take advantage of the subject site's opportunities. Application of the existing planning framework would not result in this outcome.

I trust the above information is satisfactory, and I look forward to the opportunity to meet and discuss the City's supporting comments on this LDP in advance of formal lodgement.

Should you have any queries or require further clarification in regard to the above matter please do not hesitate to contact the undersigned.

Yours faithfully,



KEVIN BROUGHTON
SENIOR PLANNER

Copy to: JCM Property Group

160115 4465 LDP Cover Letter

APPENDIX 1

DRAFT LOCAL DEVELOPMENT PLAN



Schedule 3 - Dual Density Codings : Performance Criteria for Determination of Applicable Coding (cont'd)

Precinct 4 (cont'd)

(2) Dual Density Coding R20/40

The Council may permit a site to be developed at a density exceeding R20 to a maximum of R40, where both of the following Performance Criteria are met to Council's satisfaction:

NOTES :

Design Quality Criteria	(i) Visitors' car parking is provided in excess of the number of bays required by the Residential Design Codes. [NOTE: Refer to Objective (i) below.]	
	(ii) The portion of the site forward of the proposed building and extending to the primary street boundary, incorporates landscaping of exceptional quality, which is highly visible from the street. [NOTE: Refer to Objective and Interpretation (n) below.]	

Schedule 3 - Dual Density Codings : Performance Criteria for Determination of Applicable Coding (cont'd)

Performance Criterion		Objective	Interpretation
(i)	Visitors' car parking is provided in excess of the number of bays required by the Residential Design Codes.	To reduce reliance upon streets for visitors' parking in order to minimize congestion, safety hazards, and visual intrusion of vehicles on the streetscape.	N/A
(j)	Outstanding landscaping is provided in accordance with the provisions of clause 6.14(1).	To ensure that higher density development within the Mill Point Precinct will be complemented by landscaping features of outstanding aesthetic appeal, the visual quality of which is substantially superior to the normal standard of landscaping in other precincts.	Refer to clause 6.14 (1).
(k)	Car parking is provided in excess of the number of bays required by the Residential Design Codes, not in tandem and at least 4.5 metres from any street boundary of the lot, and these bays are for the sole use of occupiers.	To reduce reliance upon streets for occupiers' parking in order to minimize congestion, safety hazards and visual intrusion of vehicles on the street-scape, while facilitating ease of accessing parking bays.	N/A
(l)	The proposal involves the amalgamation of two or more lots.	To promote the consolidation of larger development sites which offer increased flexibility of building design and site planning.	The term 'amalgamation' of lots refers to the statutory process of combining two or more freehold titles into one title. Performance criterion (l) does not apply to lots created under the <i>Strata Titles Act, 1985</i> .
(m)	The proposal incorporates retention of at least one appropriate tree. (continued...)	While most trees offer environmental benefits in relation to solar screening, bird life habitat and air quality, this criterion particularly encourages the preservation of: (i) those trees which contribute significantly to the greening of the environment due to their prominence when viewed from either neighbouring streets or dwellings; and (ii) the more visually attractive trees; recognising that large and visually attractive trees give the City of South Perth a character which is highly valued by its residents, and one which, in the short term, cannot easily be replaced if destroyed.	(i) The term 'appropriate tree' refers to a tree which, in the opinion of the Council having due regard to the findings of an Arboriculturalist as referred to in paragraph (iii) of this Interpretation, has all of the following attributes: (A) Contribution to streetscape or neighbouring area - a tree located in prominent view from neighbouring streets or dwellings. (B) Attractiveness - a tree which is visually pleasing and has not been insensitively pruned. (C) Size - a tree at least 4 metres in height at the time the current application for planning approval is submitted. (D) Appropriateness of species and location - a tree which will flourish to maturity without detriment to the tree or structural damage to any adjacent building, fence or paving, having regard to space available for roots and foliage canopy. (E) Health and life expectancy - a tree in good health and which has more than 20 years to the end of its natural life expectancy.

Schedule 3 - Dual Density Codings : Performance Criteria for Determination of Applicable Coding (cont'd)

Performance Criterion		Objective	Interpretation
(m)	(...continued)		<p>(ii) A tree listed in Council's Significant Tree Register is deemed to be an 'appropriate tree' whether or not such listed tree has all of the attributes identified in paragraph (i) of this Interpretation.</p> <p>(iii) To enable the Council to properly consider whether or not a tree has the necessary attributes referred to in paragraph (i), the applicant for planning approval shall provide the Council with an Arboriculturalist's report containing his findings as to whether or not the tree has all of the required attributes. Such report shall be based upon an assessment of proposed development plans which shall be made available to the Arboriculturalist by the applicant. That report shall also specify a minimum tolerable separation between the trunk of the tree under consideration and any building, fence or paving.</p>
(n)	The portion of the site forward of the proposed building and extending to the primary street boundary, incorporates landscaping of exceptional quality, which is highly visible from the street.	To encourage exceptional quality and visually accessible landscaping of development sites thereby enhancing the attractiveness of the streetscape.	<p>(i) The term 'portion of the site forward of the proposed building and extending to the primary street boundary,' means an area of land used exclusively for landscaping, having a minimum area of 50 square metres and a minimum dimension of 5.0 metres measured in any direction.</p> <p>(ii) The term 'exceptional quality' means landscaping of a standard which the Council considers to be exceptional, comprising the following:</p> <p>(A) reticulated planting including at least one tree with a minimum height of 3.0 metres when planted which, in the opinion of the Council, is likely to grow to a minimum height of 4.0 metres within 12 months; and</p> <p>(B) other decorative landscaping features.</p> <p>(iii) The area referred to in paragraph (i) of this interpretation, shall not:</p> <p>(A) be paved other than for the creation of a pedestrian access path;</p> <p>(B) be fenced above a height of 1.0 metre other than by way of open grille type material, extending to a maximum height of 1.8 metres, with the solid components between any supporting piers comprising no more than 20%. The remaining 80% of the space between piers shall be open so as to preserve a clear view of the landscaping and of the building façade; or</p> <p>(C) form part of a private courtyard of a dwelling.</p>

Application for Planning Approval Requiring Engineering Comments



TO:	Engineering Design
FROM:	Erik Dybdahl Acting Senior Planning Officer, Development Services
DATED:	4 March 2016

PROPERTY ADDRESS:	Lot 240 (No.57) Swanview Terrace, South Perth
PROPOSAL:	Local Development Plan
APPLICATION DATE:	3 March 2016
ID NUMBER:	15.2015.46.2 (WAPC Reference 1367-15)
PLAN ATTACHED:	See D-16-18077

GENERAL COMMENT:	Yes
VEHICLE MOVEMENTS:	Yes
ONSITE PARKING:	No
STREET TREES:	No
CROSSOVER DESIGN:	No
VERGE TREATMENTS:	No
GROUND LEVELS:	No
LOWEST POINT OF STREET: (DRAINAGE ISSUE)	No
BUS STOP RELOCATION:	No
OTHER:	No

ENGINEERING COMMENTS IN RELATION TO ABOVE:

General Comments

The standard comments apply to this location:

- Stormwater is to be contained on site and discharged at a controlled rate to the street system. Soak wells are not an acceptable means of disposal. Storage of stormwater for reuse would be the preferred method of "disposal";
- Crossings to any single dwelling requiring access off Swanview Terrace will be not greater than 40% of the individual dwelling frontage. Crossings are to be at least 500mm off the side boundary;
- The crossing to the "public space" that serves as an access way to the rear dwellings is to be the minimum crossing allowed, i.e. 3 metres width set a minimum of 500mm off the side boundaries;
- Waste management should be considered as a "communal service" rather than through individual 240 litre MGB's. Shared recyclable service to be also considered;
- Adjustments to the Swanview Terrace kerb alignment adjacent to the development should be considered;
- Access to garage 1 and garage 3 may require greater setback than provided to ensure manoeuvring aisle is at least 5.8 metres wide (ideally a minimum of 6 metres;
- Separate applications will be required for crossings and stormwater drainage. The issuing of a Building Licence does not remove this obligation.

Name:	Les Croxford Manager Engineering Infrastructure	Date:	6 April 2016
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Government of **Western Australia**
Department of **Parks and Wildlife**
Rivers and Estuaries Division

Your ref: 1367-15
15.2015.46.2
Our ref: 2015/4915
Enquiries: Gabrielle Shepherd
Phone: 9278 0910
Email: gabrielle.shepherd@dpaw.wa.gov.au

Mr Geoff Glass
Chief Executive Officer
City of South Perth
Corner Sandgate Road and South Terrace
SOUTH PERTH WA 6151

Attention: Erik Dybdahl

Dear Mr Glass

**PROPOSED LOCAL DEVELOPMENT PLAN - LOT 240 (57) SWANVIEW TERRACE,
SOUTH PERTH**

Thank you for providing the Department of Parks and Wildlife (Parks and Wildlife) with the opportunity to comment on the above proposal received on 10 March 2016.

It is noted that the proposed Local Development Plan (LDP) is fulfilling a condition of approval which was granted by the Western Australian Planning Commission in March 2016. Parks and Wildlife officers have considered the LDP and offer the following comments:

- Any future development of Lot 2 which abuts the Swan Canning Development Control Area will be subject to Parks and Wildlife development policies which can be viewed at www.dpaw.wa.gov.au/management/swan-canning-riverpark
- Policy SRT/D3 *Development Setback Requirements* outlines Parks and Wildlife's requirements with respect to the setback of residential development adjacent to the DCA boundary. A standard setback of 10 metres or 20% of the average depth of the lot generally applies to solid and hard faced structures such as residential dwellings and enclosed garages or sheds although greater setbacks may be applicable depending upon the bulk, scale and style of the development. In this instance, the setback for development on Lot 2 has been calculated to be 4.2m. It is assumed that the 6.0m landscape area shown on Lot 2 excludes the dwelling.

Policy SRT/D3 also sets out requirements for the location and design of retaining walls and other landscape elements/structures which may be considered acceptable within the setback area. Covered alfresco areas are required to be no closer than 4.0m, while other landscape features which are not elevated above natural ground level can be located within the setback area. It is recommended that the LDP be amended to show the alfresco area 4.0m from the rear boundary.

- Any fence to be constructed along the boundary of the DCA shall be open view with a maximum height of no more than 1.8 metres, including any retaining walls.
- Stormwater drainage is to be contained on-site or suitably treated and connected to the local drainage system.
- All lots should be connected to the reticulated sewerage system.

Rivers and Estuaries Division
Locked Bag 104, Bentley Delivery Centre, Western Australia 6983
Phone: (08) 9219 9000 Email: rivers.planning@dpaw.wa.gov.au
www.dpaw.wa.gov.au

If you have any queries regarding this matter, please contact Gabrielle Shepherd, Planning Officer, on 9278 0910. In all correspondence please quote the above reference number.

Yours sincerely



Glen McLeod-Thorpe
A/Manager, Statutory Assessments

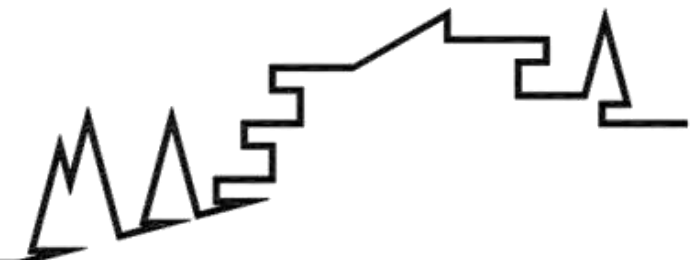
31 March 2016

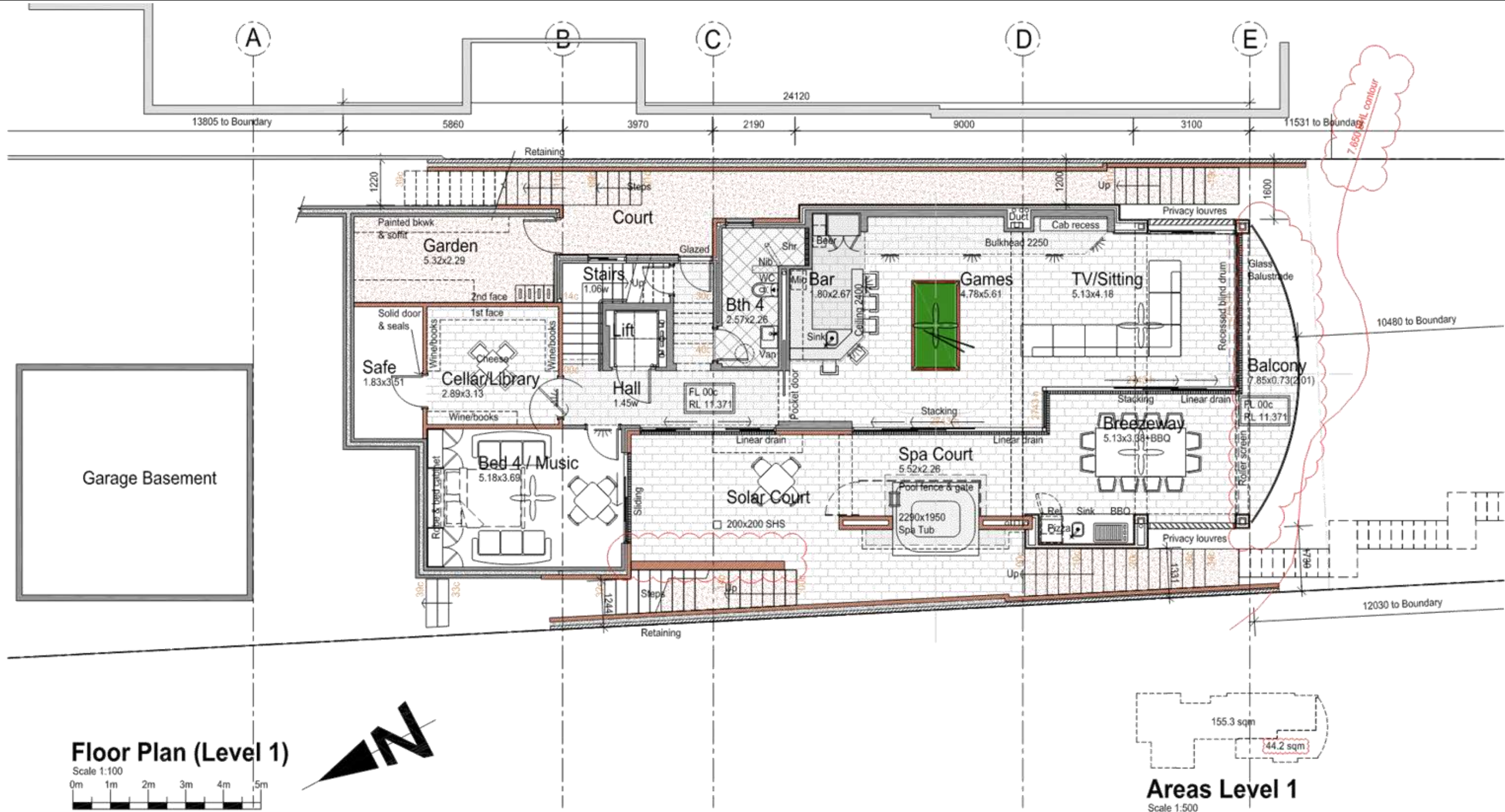
Proposed Grafton Residence Lot 800 (No 10A) River Way & Salter Point Parade Salter Point

a j n macdonald & associates

BUILDING DESIGNERS PO Box 166 North Fremantle WA 6159 Tel 0413 839 990 Email design.allanmac@inet.net.au

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Development Application

Proposed Grafton Residence on Lot 800 (No 10A) River Way (& Salter Point Parade) Salter Point

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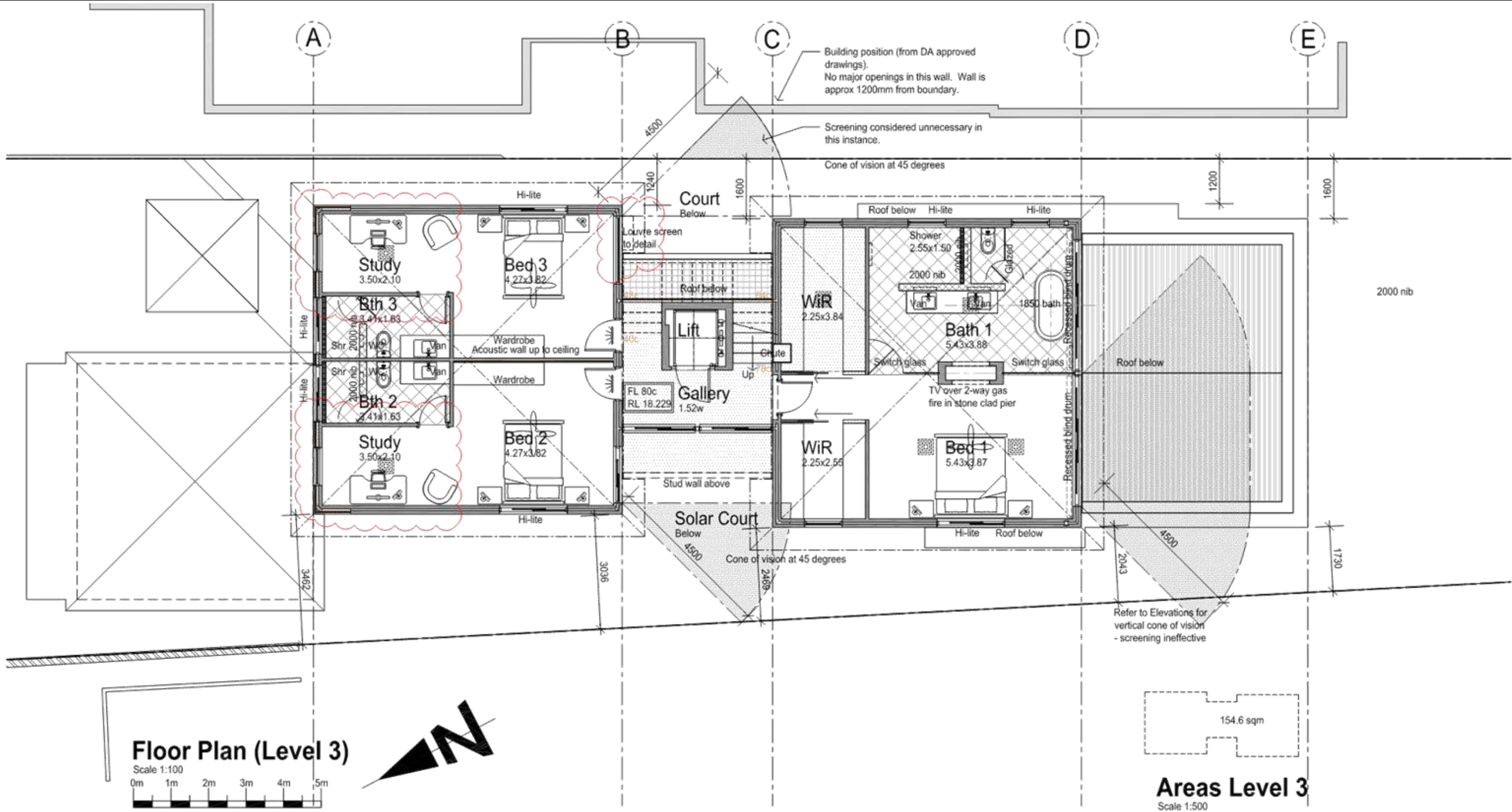
Revision - 02-03-2016

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Date: 18-11-2015	Dwg No: S4-02	Rev: 01
Drawn: AJNM		





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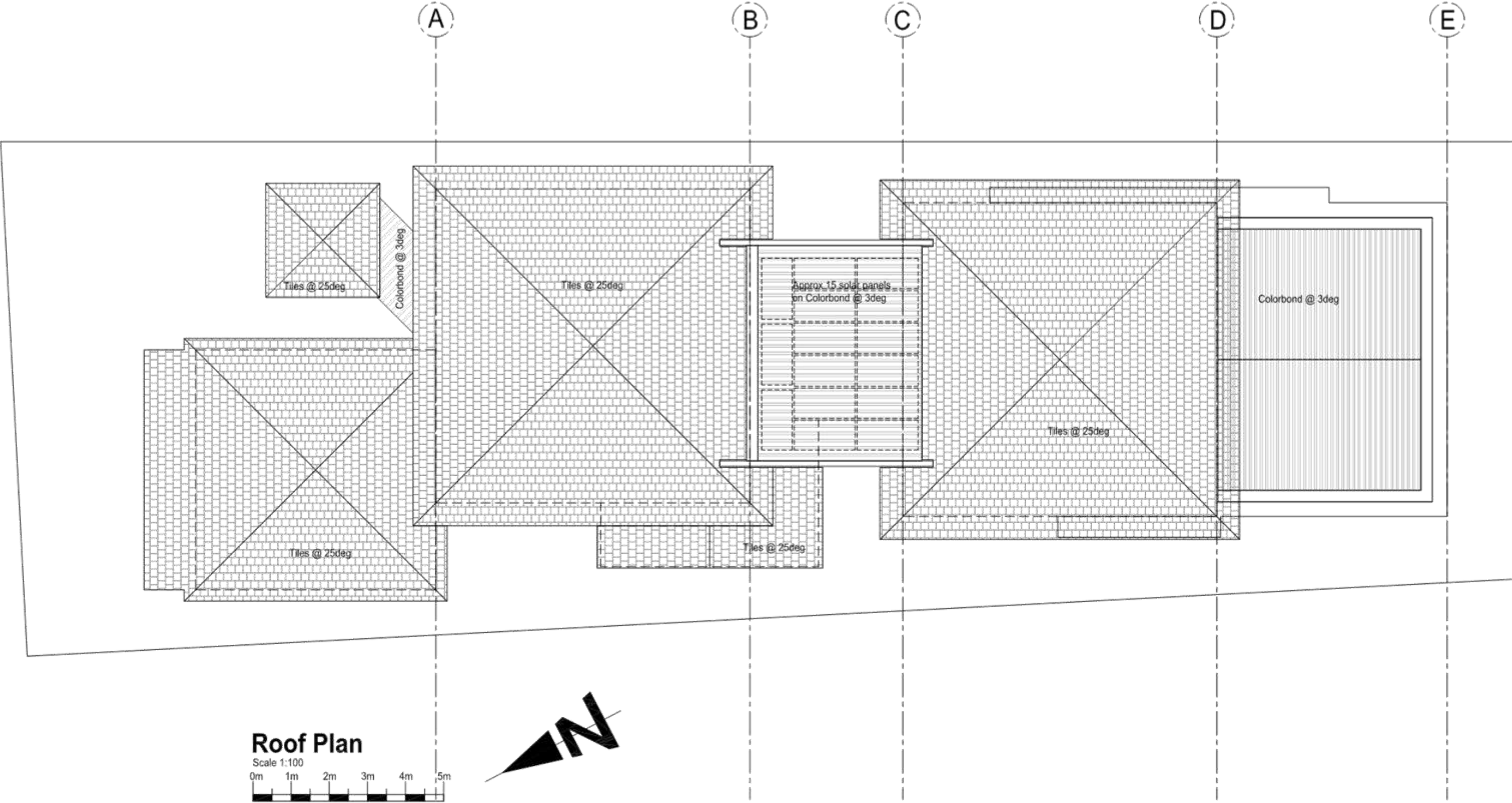
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Revision - 21-03-2016
Revision - 02-03-2016

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Date: 18-11-2015	Dwg No: S4-04	Rev: 02
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Proposed Grafton Residence on Lot 800 (No 10A) River Way (& Salter Point Parade) Salter Point
a j n macdonald & associates

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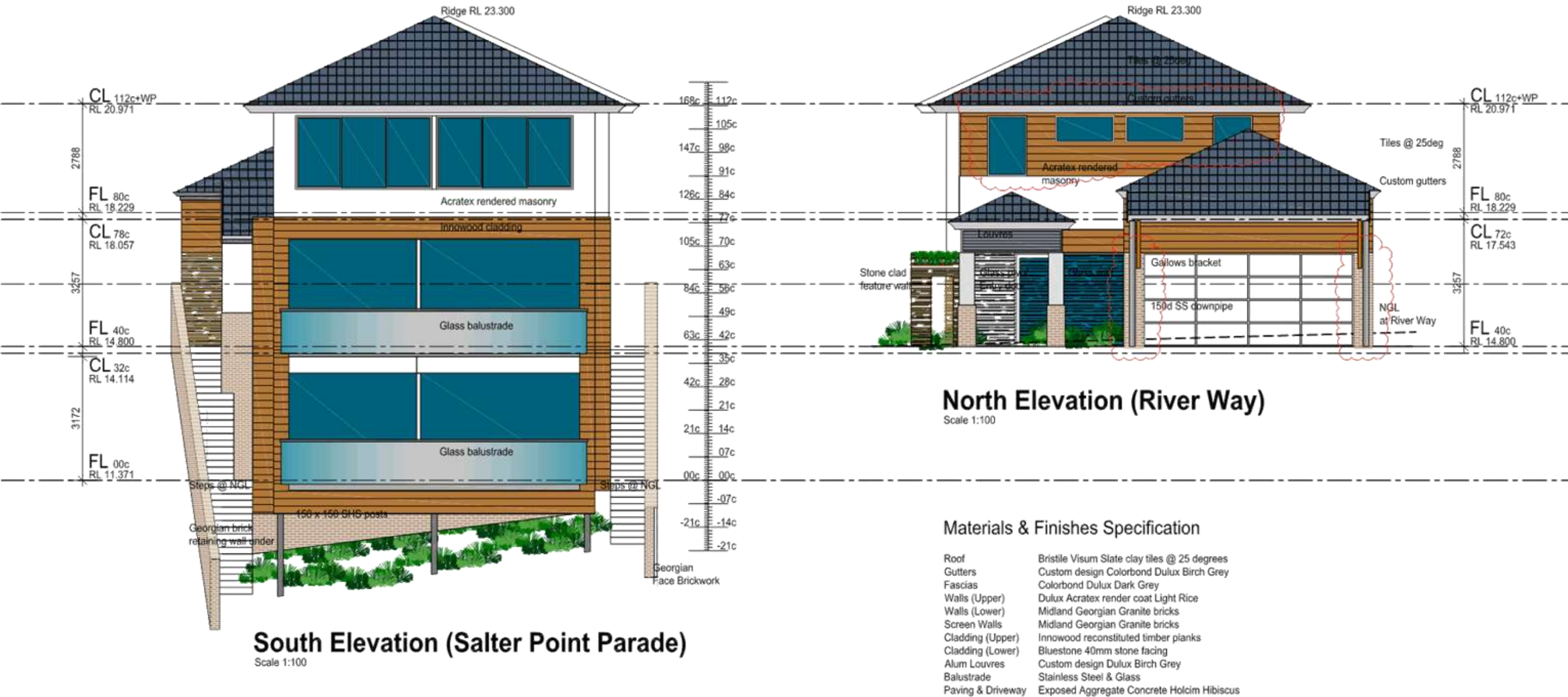
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Date: 18-11-2015	Dwg No: S4-05	Rev:
Drawn: AJNM		



Development Application

Proposed Grafton Residence on Lot 800 (No 10A) River Way (& Salter Point Parade) Salter Point

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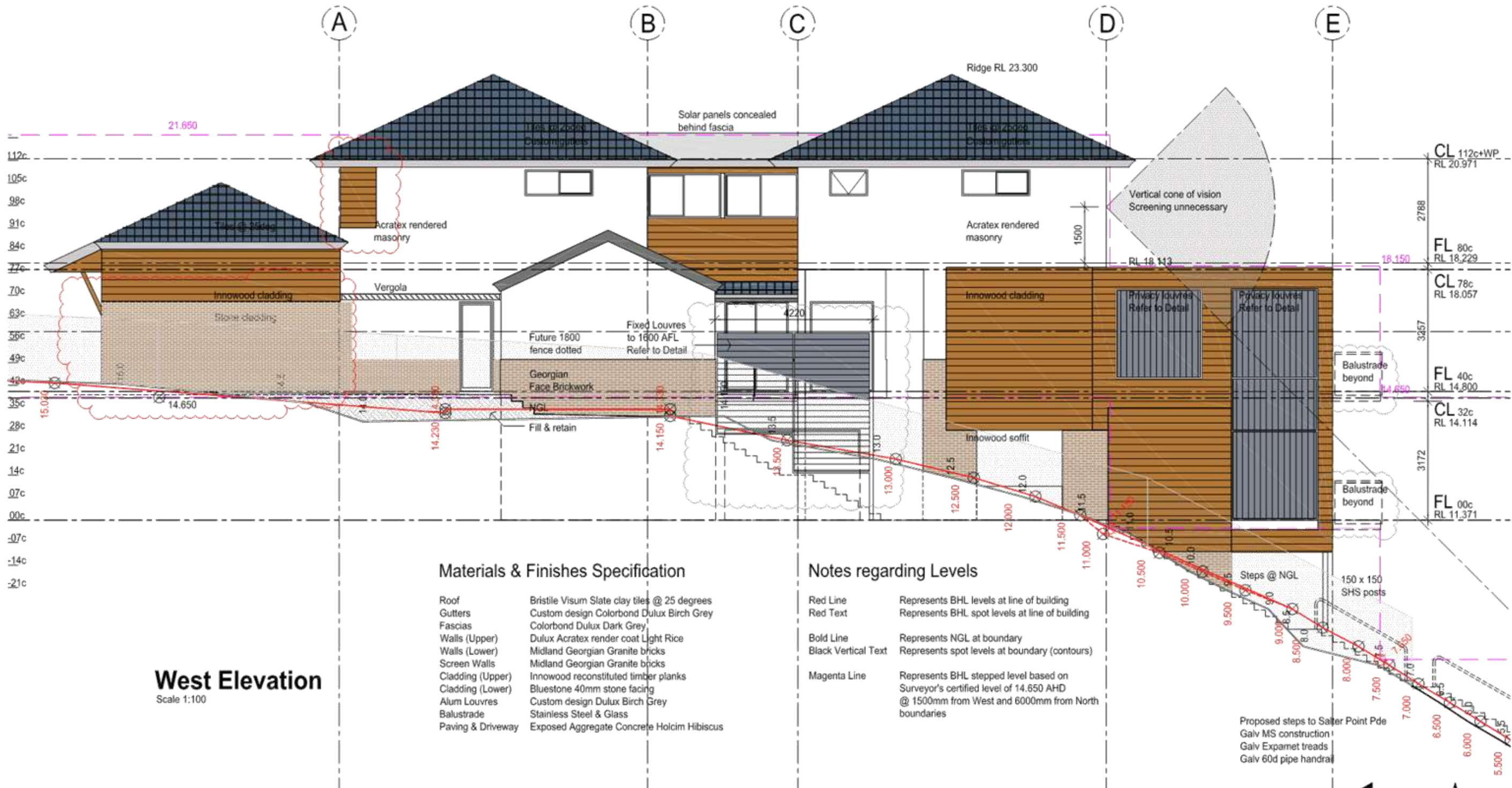
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Date: 18-11-2015	Dwg No: S4-07	Rev: 01
Drawn: AJNM		



Development Application

Proposed Grafton Residence on Lot 800 (No 10A) River Way (& Salter Point Parade) Salter Point

a j n macdonald & associates

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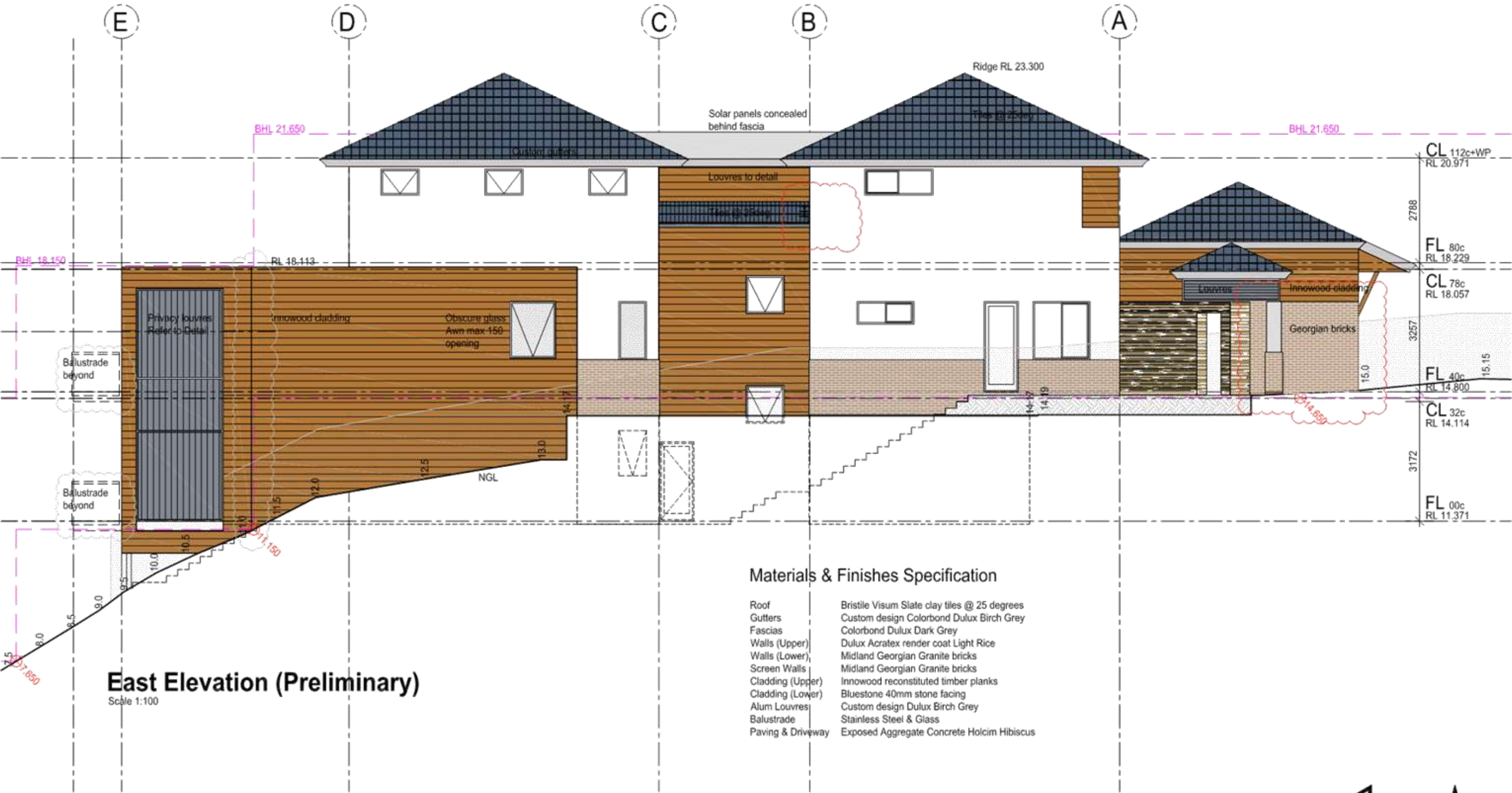
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Revision - 21-03-2016
Revision - 02-03-2016



Scale: 1:100	Job No: 171	No in Set: 15
Date: 18-11-2015	Dwg No: S4-08	Rev: 02
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Development Application

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a j n macdonald & associates

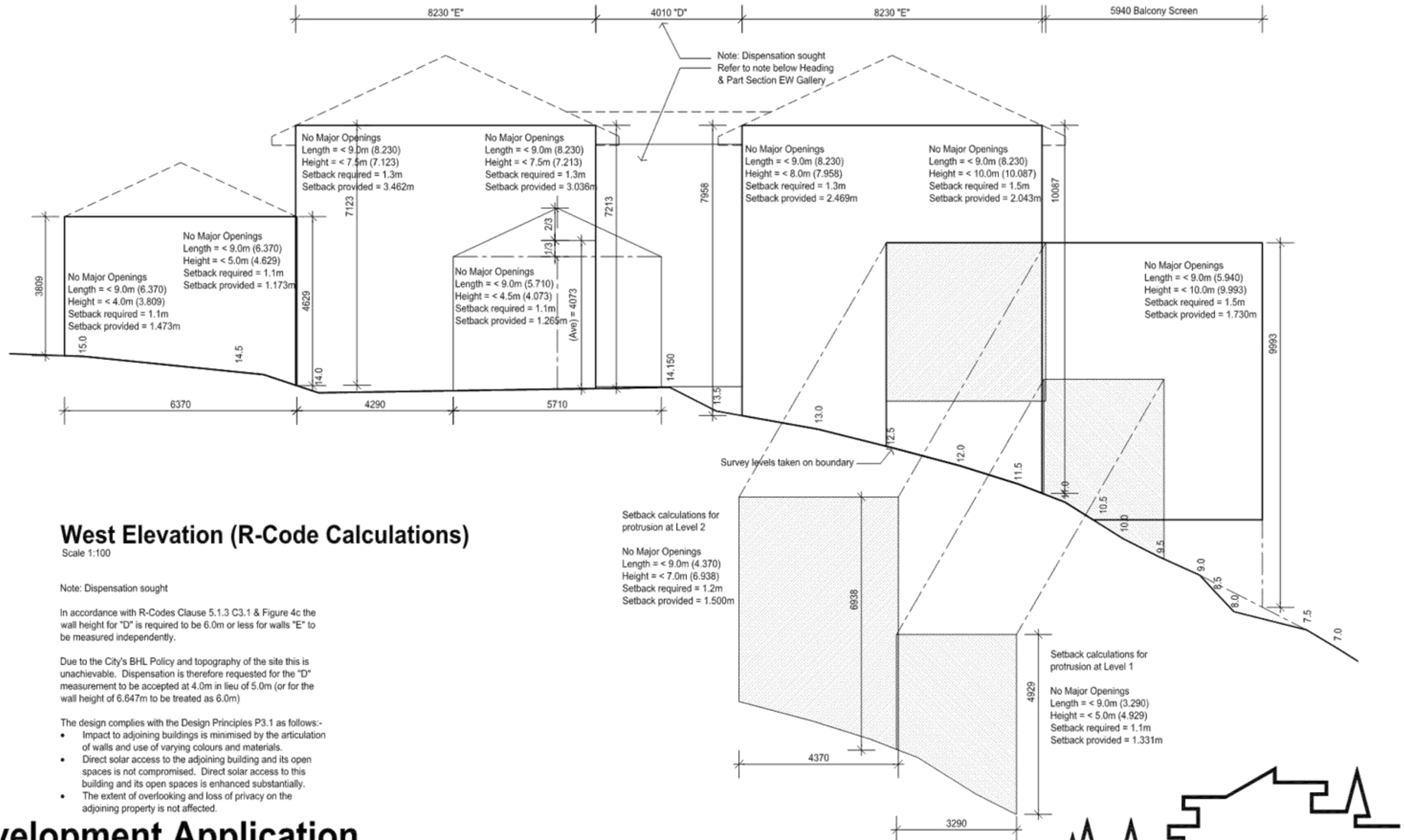
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Scale: 1:100	Job No: 171	No in Set: 15
Date: 18-11-2015	Dwg No: S4-09	Rev: 02
Drawn: AJNM		



West Elevation (R-Code Calculations)

Scale 1:100

Note: Dispensation sought

In accordance with R-Codes Clause 5.1.3 C3.1 & Figure 4c the wall height for "D" is required to be 6.0m or less for walls "E" to be measured independently.

Due to the City's BHL Policy and topography of the site this is unachievable. Dispensation is therefore requested for the "D" measurement to be accepted at 4.0m in lieu of 5.0m (or for the wall height of 6.647m to be treated as 6.0m)

The design complies with the Design Principles P3.1 as follows:-

- Impact to adjoining buildings is minimised by the articulation of walls and use of varying colours and materials.
- Direct solar access to the adjoining building and its open spaces is not compromised. Direct solar access to this building and its open spaces is enhanced substantially.
- The extent of overlooking and loss of privacy on the adjoining property is not affected.

Development Application

Proposed Grafton Residence on Lot 800 (No 10A) River Way (& Salter Point Parade) Salter Point

a j n macdonald & associates

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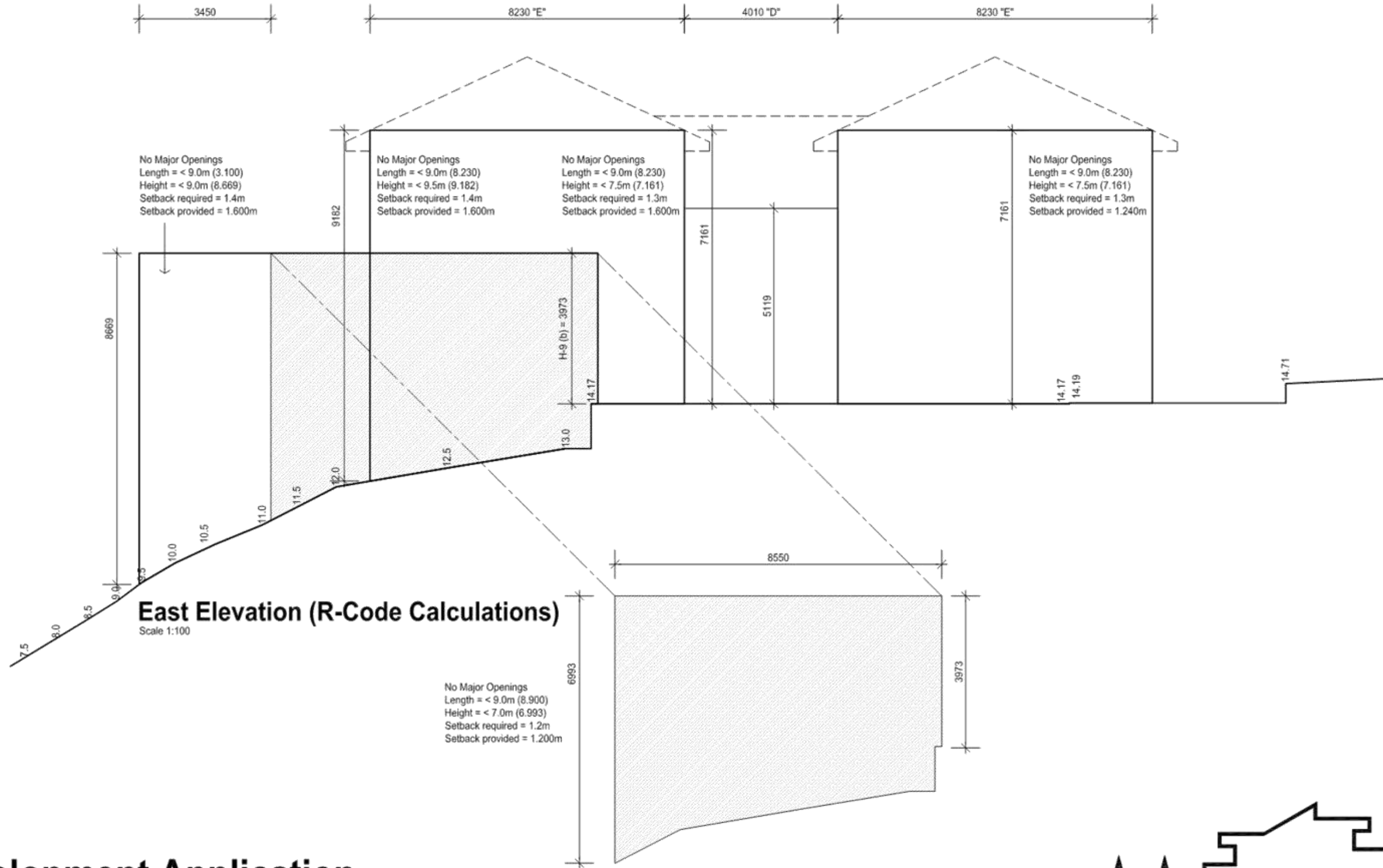
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Revision - 02-03-2016



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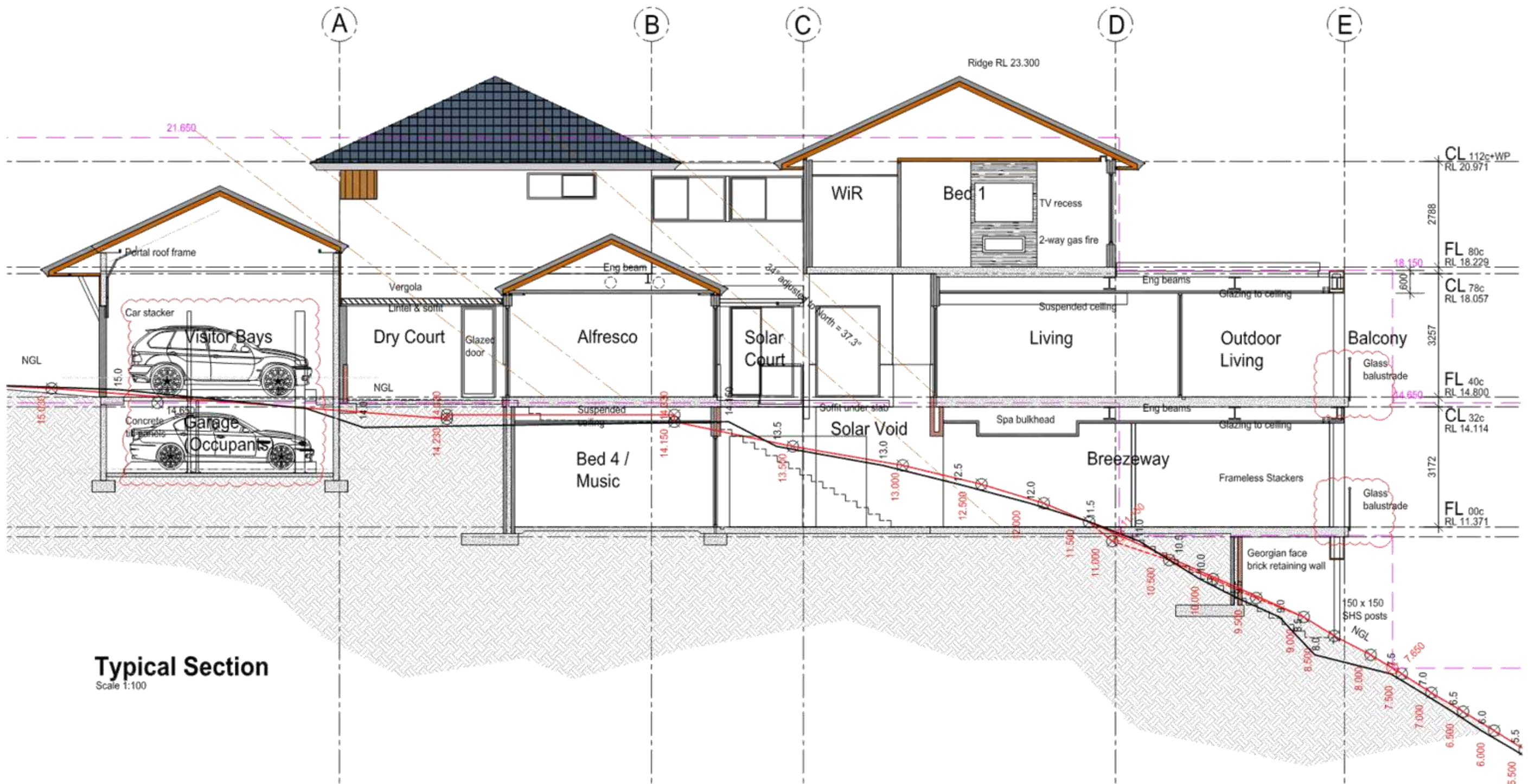
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Date: 18-11-2015	Dwg No: S4-11	Rev: 01
Drawn: AJNM		



Development Application

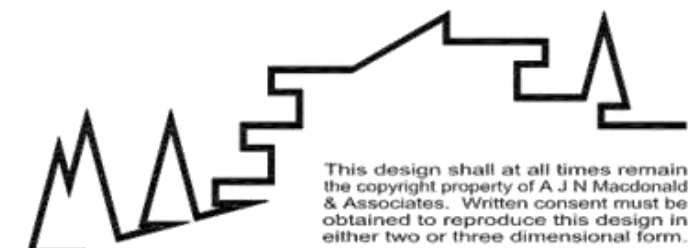
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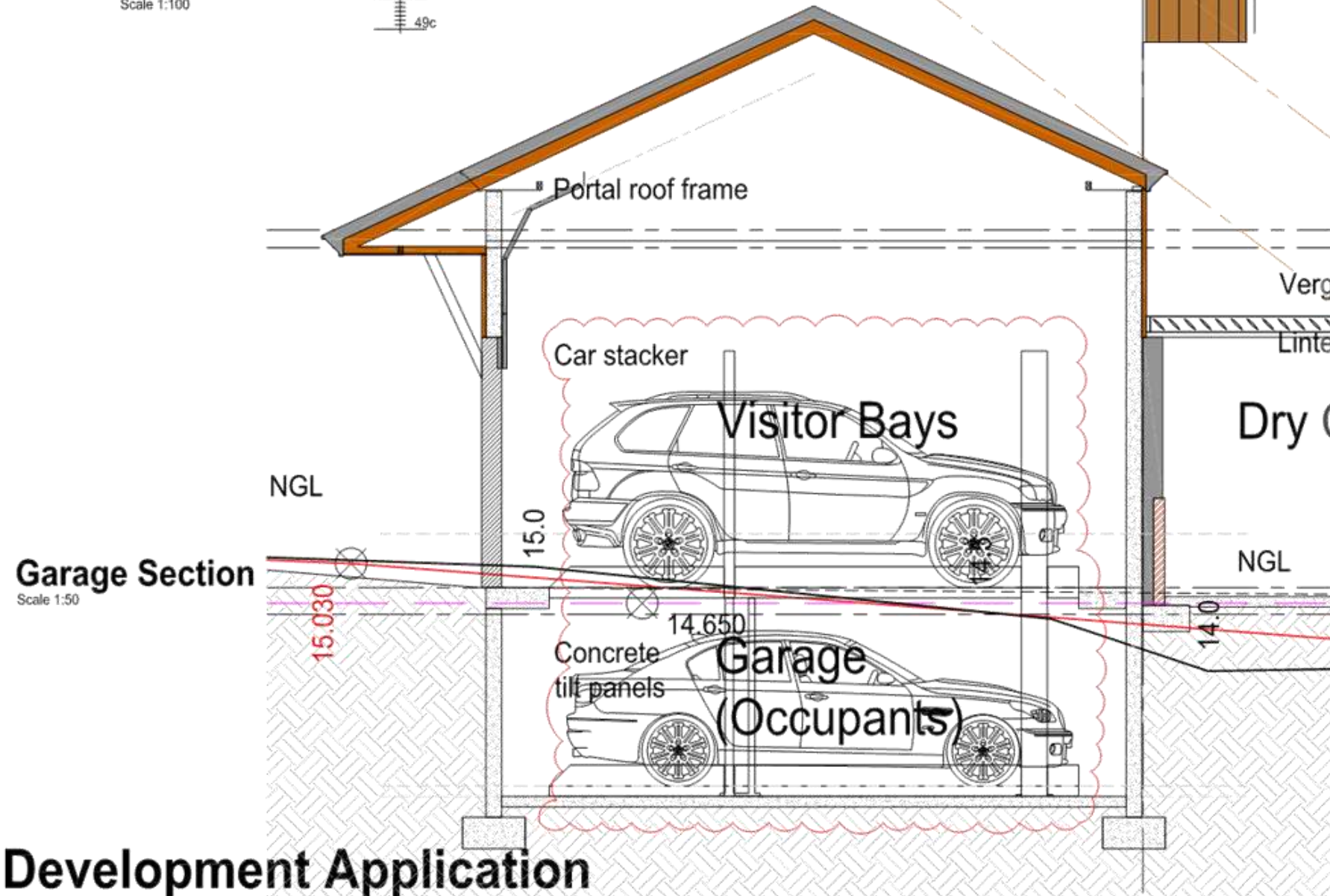
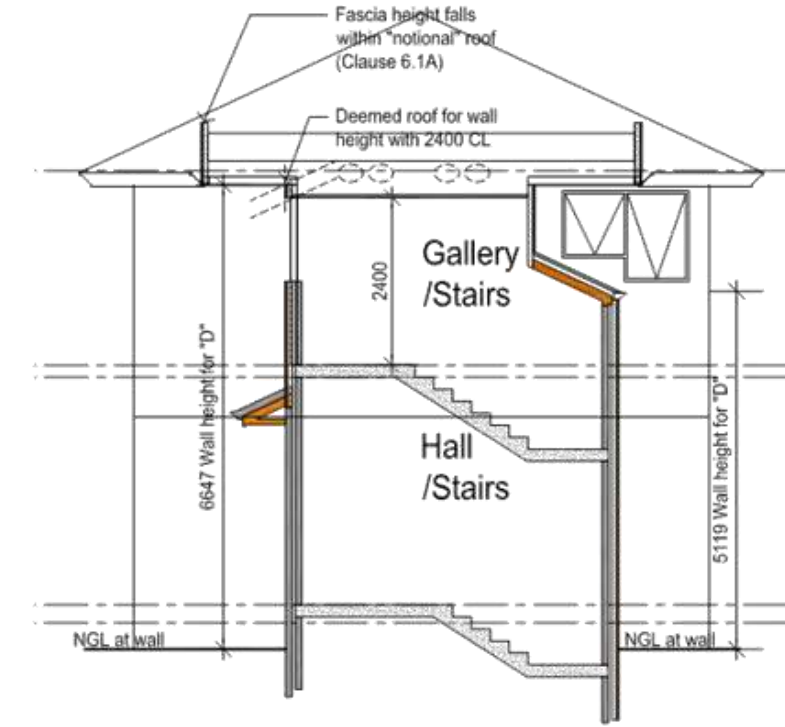
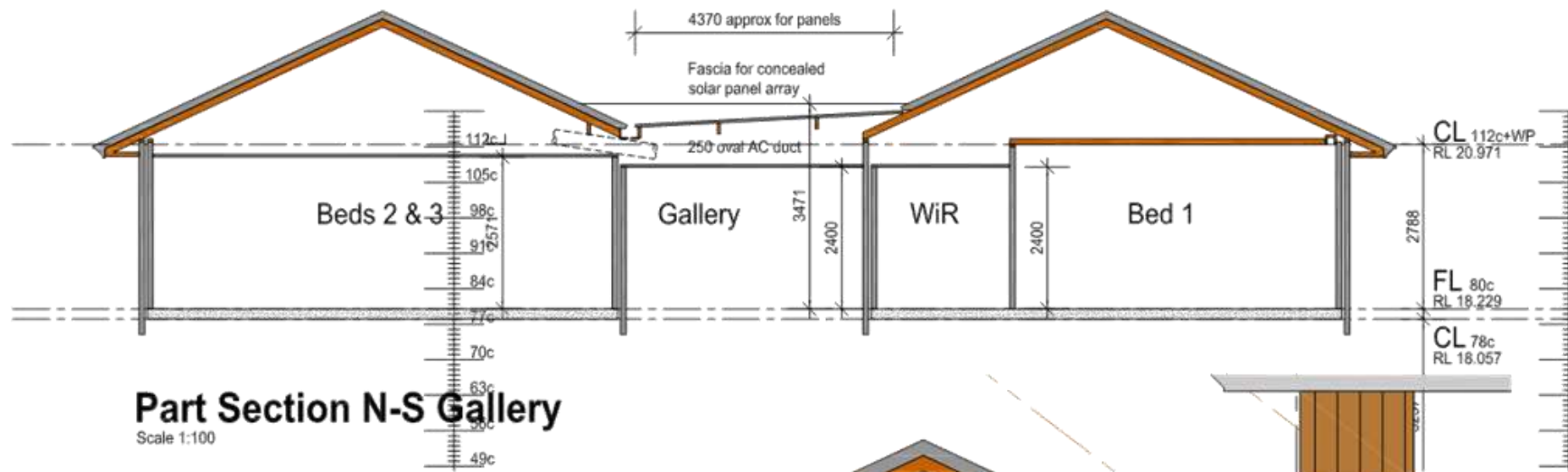
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Scale: 1:100	Job No: 171	No in Set: 15
Date: 18-11-2015	Dwg No: S4-12	Rev: 01
Drawn: AJNM		



Development Application

Proposed Grafton Residence on Lot 800 (No 10A) River Way (& Salter Point Parade) Salter Point

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Scale: 1:100	Job No: 171	No in Set: 15
Date: 18-11-2015	Dwg No: S4-13	Rev: 01
Drawn: AJNM		



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P2.1

Effective solar access is achieved by:-

- Using 2 building main modules creating more walls/openings with northerly exposure
- Inclusion of a Solar Court / Light Well
- Articulation of walls and of floors vertically (See Section)

P2.2

The design protects and respects solar access for the adjoining property:-

- Shadows (21st June) are not cast over adjoining outdoor living areas or major openings to habitable rooms
- Shadows cast (% of site) are exaggerated by:-
- the steep south-facing slope of the sites
- the narrowness of the sites
- Shadows cast are upon blank walls and flat roofs
- Very little shadow would be cast upon roofs allowing maximum exposure for solar panels. Note shadows indicated are cast upon the ground (not roof)

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Scale: 1:100	Job No: 171	No in Set: 15
Date: 18-11-2015	Dwg No: S4-14	Rev:
Drawn: AJNM		



TO:	Engineering Design
FROM:	Mr Mina Thomas Planning Officer, Development Services
DATED:	23 November 2015

PROPERTY ADDRESS:	Lot 810 (No. 10a) River Way, Salter Point
PROPOSAL:	Single House (Two-Storeys Plus Undercroft)
APPLICATION DATE:	23 November 2015
ID NUMBER:	11.2015.556.1
PLAN ATTACHED:	Yes – Refer TRIM ID Reference D-15-83054

GENERAL COMMENT:	Yes – Refer Policy P306 for Development of Properties Abutting River Way
VEHICLE MOVEMENTS:	No
ONSITE PARKING:	No
STREET TREES:	No
CROSSOVER DESIGN:	No
VERGE TREATMENTS:	No
GROUND LEVELS:	No
LOWEST POINT OF STREET: (DRAINAGE ISSUE)	Yes
BUS STOP RELOCATION:	No
OTHER:	No

ENGINEERING COMMENTS IN RELATION TO ABOVE:

Stormwater Drainage

The proposed development is within the Manning Drainage Precinct, as defined in *Policy P354 (Stormwater Drainage Requirements for Proposed Buildings)* and *Management Practice M354*.

The development will need to satisfy the requirements for soak wells as detailed in the Management Practice.

The Management Practice states that *unless otherwise demonstrated (by design) the Soak well Volume Required (m³) for Type 1 Residential Buildings would be not less than 0.02 times the Impervious Area Serviced (m²).*

No drainage design was included in the planning application drawings for the above mentioned lot therefore no comment has been made. The general principle underlying all developments is that all stormwater falling on a site is to be contained and disposed on site.

An approved 'Stormwater Drainage for Proposed Buildings' application is required prior to construction. This application details all conditions relating to the stormwater design and installation and/or the requirements of the Management Practice.

Property Line Levels

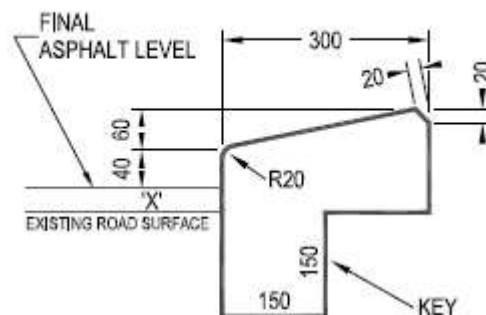
Property line levels and footpath levels are to remain unaltered to

accommodate an internal driveway.

Crossing Location, Design & Gradient

The gate opening is required to be greater than the crossing width to ensure adequate sight lines exist around the brick piers. The remainder of the wall within the corner truncation area (1.5 metres by 1.5 metres) is to be constructed to be fully "see through". The crossing is to be no greater than 5.4 metres.

The property is located within a "natural waterway" and the City cannot guarantee that localised flooding may occur as a consequence of debris collecting on the road grate or elsewhere within the drainage system. To minimise the potential for stormwater invasion the crossing is to be constructed such that at 300mm from the face of the street kerb the crossing is 125mm above the gutter level. A "lip" not less than 25mm in height is to be provided on the road edge. A low profile would be a satisfactory solution at the street edge.



'X' = THICKNESS OF NEW ASPHALT

TYPICAL MOUNTABLE KERB
TYPE: A-2X WITH 150 x 150 KEY

ALL MEASUREMENTS IN MILLIMETRES
NOT TO SCALE

The remainder of the crossing to the property boundary is to have a positive gradient of nominally 2.5% such that the property boundary is about RL 15.360 metres i.e. 150mm above the gutter level.

Plan number S4-06 dated 18 November 2015 has a setback of 4.5 metres. The Plan identifies the driveway as available for two visitor bays. It should be noted the former B50 vehicle (and designated as the "small car" dimension) at 4450mm in length by 1700mm width has become longer and wider and for the purposes of defining a "small car" parking bay a new "light car category" has been introduced that has the same length of 4450mm with an increase in width to 1740mm. The "light car" category now represents the 35th percentile of the Australian fleet. Any vehicle in excess of a medium sized SUV would not be able to park in the space provided unless either or both the garage and/or gate was open.

Unless it can be demonstrated the driveway gradient cannot exceed 1:12 for the first 3.6 metres and one in eight thereafter unless transitions are provided to prevent the "bottoming out" or "scaping the underside" of the B85 vehicle. The FFL of the garage at RL14.8 would require with minimum 2 metre transitions an

internal gradient of 22% i.e. 1:4.5.

Gradients between 1:6 and 1:4 will not be endorsed by Engineering Infrastructure unless a letter is received from the landowner acknowledging responsibility for any access difficulties that may arise, without future recourse to the City.

As with the stormwater approvals a crossing application must be submitted and approved by the City prior to construction. The crossing will be checked for compliance during and post construction. The crossing must be constructed in-line with the City's crossing requirements, which are provided in the Management Practice M353 'Crossing Construction'.

Please see the link below to reference the above mentioned management practices:

<http://icosp/SitePages/Governance-Management-Practices.aspx>

Regards

Name:	Marinko Knezovic	Date:	22/3/16
-------	------------------	-------	---------



Government of Western Australia
Department of Parks and Wildlife
Rivers and Estuaries Division

Your ref: RI3/10A
Our ref: 2015/4819
Enquiries: Adrian Ortega
Phone: 9278 0951
Email: adrian.ortega@dpaw.wa.gov.au

City of South Perth

Folder No. 11-2015.556.1

- 6 JAN 2016

☐ CE ☐ EH ☐ COR ☐ GOLF
☐ PS ☐ CC ☐ GA ☐ CEO ☐ MAYOR
☐ EI ☐ HR ☐ RAN

Geoff Glass
Chief Executive Officer
City of South Perth
Civic Centre, Cnr Sandgate & South Tce
SOUTH PERTH WA 6151

Attention: Mina Thomas

Dear Mr Glass,

CLAUSE 30A(2)b(i) – PROPOSED SINGLE HOUSE – LOT 810 (NO. 10A) RIVER WAY, SALTER POINT

Thank you for providing the Swan River Trust (the Trust) with the opportunity to comment on the above development application received on 25 November 2015.

The Department of Parks and Wildlife has assessed the application on behalf of the Trust, and you are advised that there are no objections to the proposal, subject to the following conditions and advice notes:

1. The proponent shall ensure that appropriate on-site measures are implemented to prevent sediment from entering the stormwater system and river during construction.
2. No soil, building materials, rubbish or any other deleterious matter shall be deposited on the Parks and Recreation reserve or allowed to enter the river as a result of the development.
3. Stormwater drainage shall be contained on site, or connected to the local government stormwater drainage system.
4. Fencing on the south-western boundary of the lot abutting the Parks and Recreation reservation shall be open view style of a total height not exceeding 1.8 metres in compliance with Policy *SRT/D3 Development Setback Requirements* (see **Advice Note 1**).
5. The development shall be connected to the reticulated sewerage system prior to occupation.

ADVICE TO APPLICANT

1. The applicant is advised that Policy *SRT/D3 Development Setback Requirements* specifies that fences to demarcate the private and public land should be no higher than 1.8 metres, generally open-view style, with the option for the lowest 1.0 metre of the fence to be of a solid construction. The Department of Parks and Wildlife prefers fence styles, colours, and materials which complement the riverine environment.
2. The applicant is advised that it is an offence under the *Swan and Canning Rivers Management Regulations 2007* to destroy, pull up, cut back or injure any tree, shrub,

Rivers and Estuaries Division
Locked Bag 104, Bentley Delivery Centre, Western Australia 6983
Phone: (08) 9219 9000 Email: rivers.planning@dpaw.wa.gov.au
www.dpaw.wa.gov.au

aquatic plant or other perennial plant that is in the Riverpark or the Swan Canning Development Control Area, except with the approval of the Department of Parks and Wildlife.

If you have any queries regarding this matter, please contact Adrian Ortega, Planning Officer, on 9278 0951. In all correspondence please quote the above reference number.

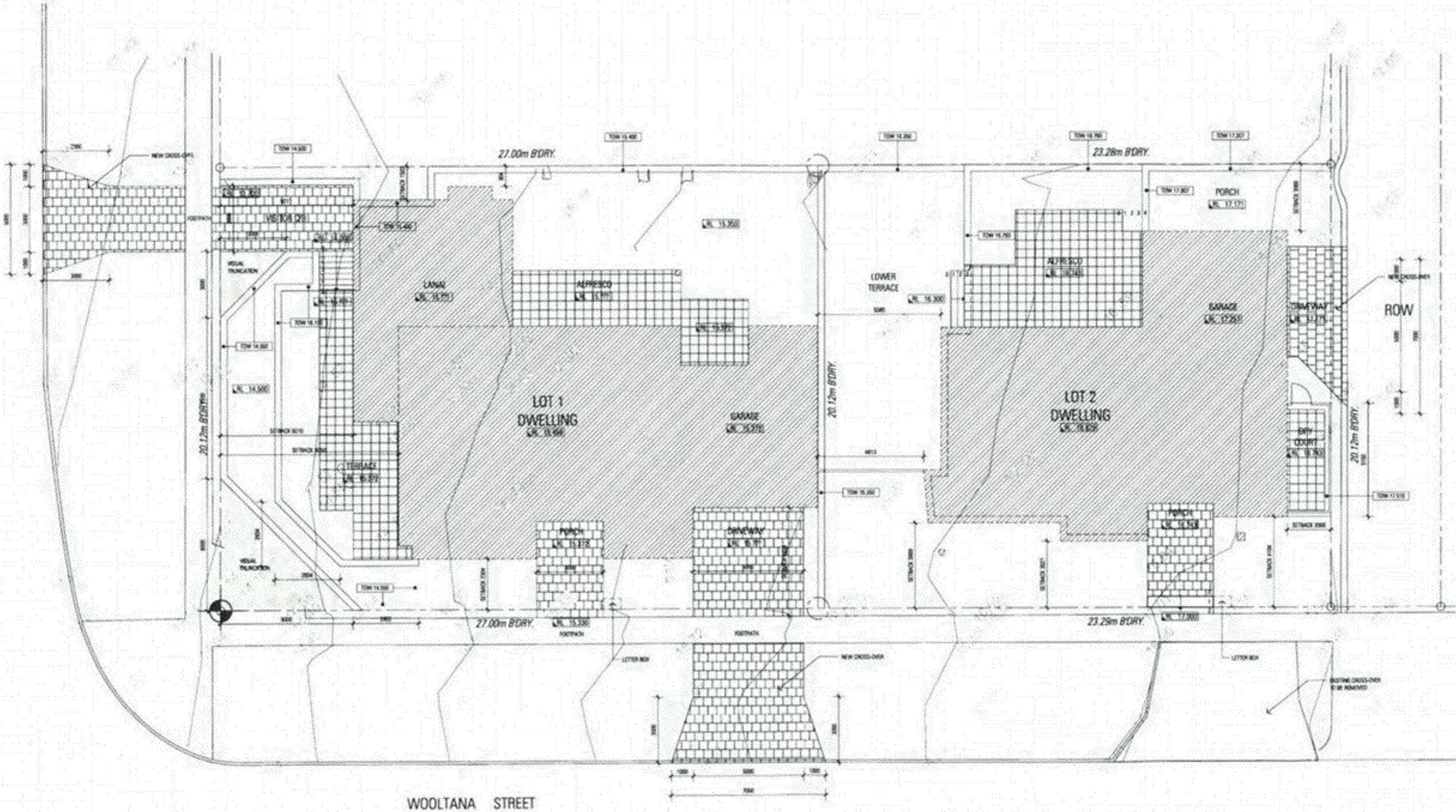
Yours sincerely,



Glen McLeod-Thorpe
A/Manager, Statutory Assessments

As delegate of the Swan River Trust
Under Section 28B(2) of the SCRM Act 2006

30 December 2015



SITE PLAN - RETAINING WALLS
SCALE 1:100

GENERAL NOTES
1. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION/INSTALLATION. DO NOT SCALE FROM DRAWING.
2. THE ARCHITECT IS TO BE ADVISED OF ANY PERFORMANCE, UNIFORM OR DIMENSIONS BEFORE BEING COMMENCED.
LEGEND

PRELIMINARY			
0	31.10.10	ISSUED TO STRUCTURAL ENG. FOR REVIEW	MC
0	26.10.10	ISSUED TO SEE FOR REVIEW	MC
0	17.10.10	ISSUED TO CLIENT FOR REVIEW	MC
0	17.06.10	ISSUED TO STRUCTURAL ENG. FOR REVIEW	MC
0	15.06.10	ISSUED TO CLIENT FOR REVIEW	MC
Rev	Date	Amendments	Drawn/App

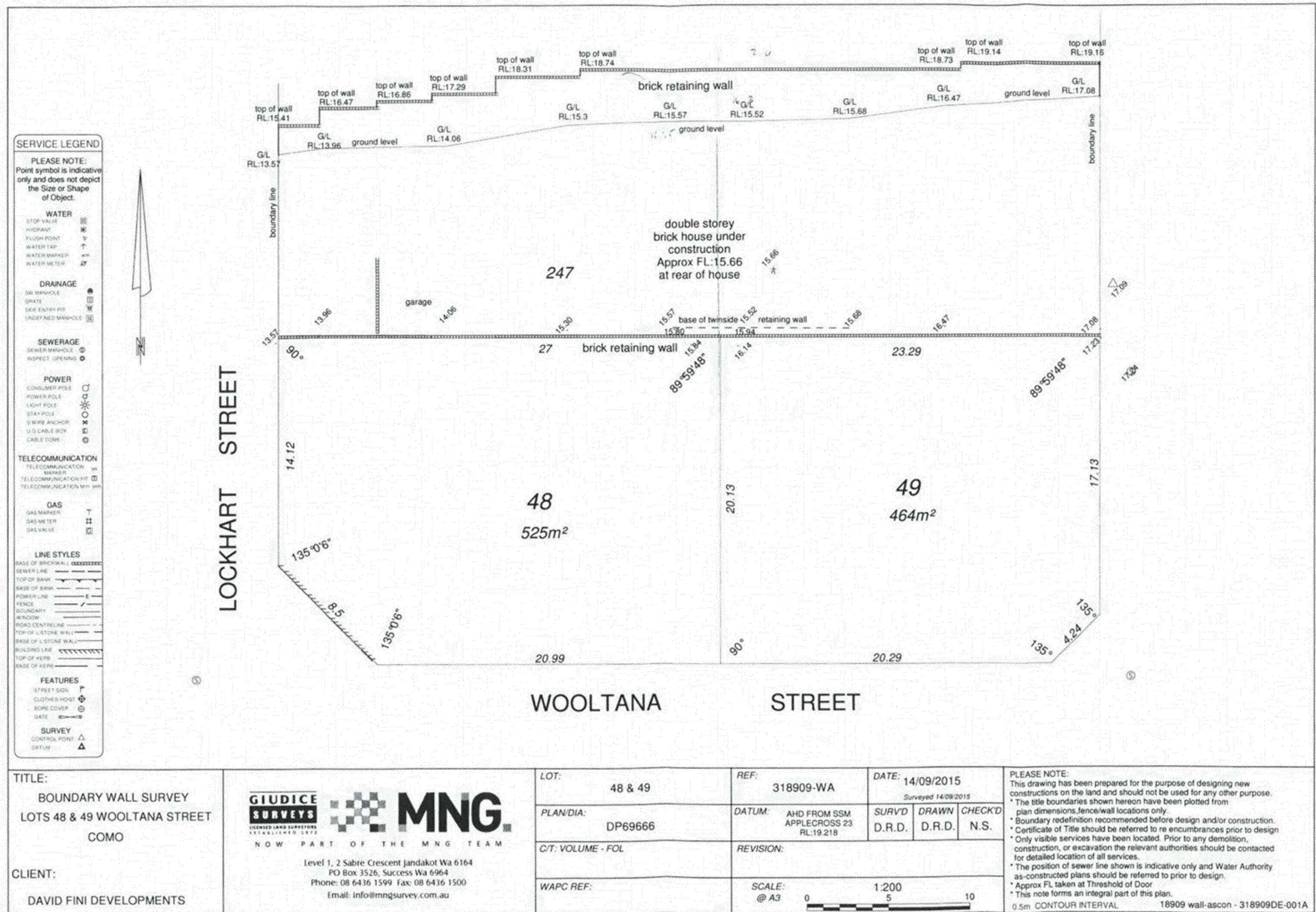
ZUIDVELD MARCHANT HUR
ARCHITECTURE, PLANNING, INTERIOR DESIGN

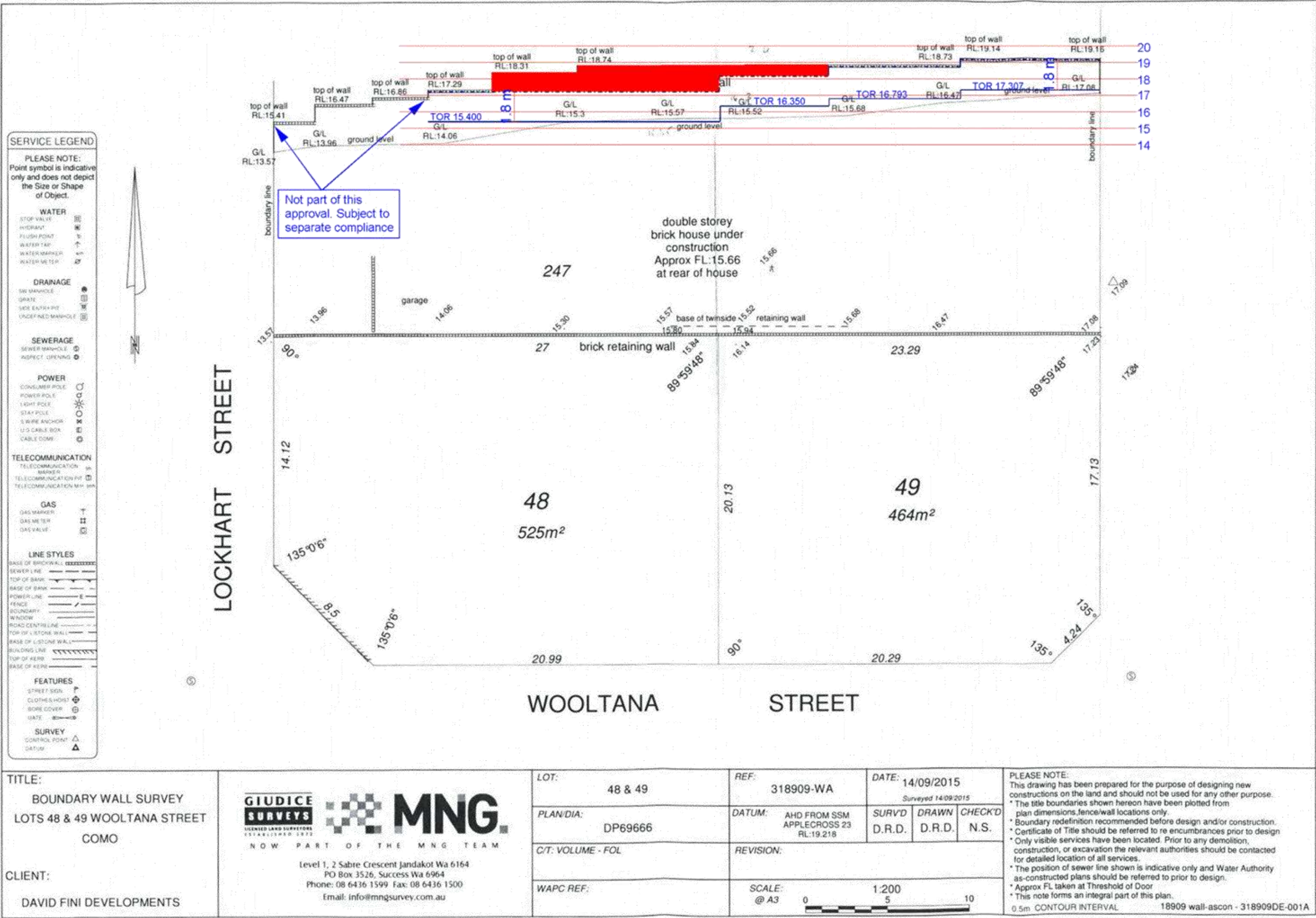
PROJECT TITLE / CLIENT
LOT 248 LOCKHART STREET,
COMO, W.A.
TWO SINGLE RESIDENTIAL DEVELOPMENTS

DRAWING TITLE
SITE PLAN - OVERALL

DRAWN	MC	DATE	25/10/10	SCALE	1:100
CHECKED		RD		CAD FILE	1706_A1.03.DWG
DRAWING NUMBER	A1.03	REVISION	0		

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David Fini Developments

david@davidfini.com.au

0419997082

City of South Perth

Attn: Cameron Howell

Planning Department

Your Ref: LO1/150

11.2010.78.1

Dear Sir,

I am writing in support of a retrospective application for a boundary wall dividing 148 Lockhart St Como and 150 Lockhart St Como and 8 Wooltana St Como.

I am the builder who constructed the boundary wall and fully support Nicholas Chan and Pang Ong.

When I originally built the wall to the 1.8m height we could see the house next door well above the wall. The house was dilapidated with gutters falling off, paint peeling and windows from the house could be seen overlooking into the "sensitive" outdoor pool, alfresco and kitchen areas of 150 Lockhart and 8 Wooltana. The problem was exacerbated by the old house being built up on limestone footings which meant the windows along the boundary (approx. 1.5m setback) were higher than normally would be above natural ground level.

Also the land at 148 Lockhart slopes considerably up from the street. This has an effect of when standing on the higher levels towards the rear of 148 Lockhart you could see over the sections of the wall as it stepped down towards Lockhart St.

I organized for all owners involved in this issue to meet in order to resolve this issue, but a compromise could not be reached.

The owners of 148 Lockhart stated 4 reasons when we asked why they do not like the wall at current height:-

Loss of light

Structural ability

Height

Additional money it will cost them to render the additional height above 1.8m

Wall was built as per initial building/engineer approved specs. Additional engineering certification provided for extra height.

Loss of light. The wall is on the southern boundary of 148 Lockhart st where there is no sun anyway. The problem is further accentuated with the owners of 148 building multi-storey houses further blocking out any sun from the north and not allowing any sunlight penetration at all.

Currently there is scaffold along the southern boundary of 148 Lockhart st which is blocking any available light from the side part of their house. When the scaffold is removed and the houses and walls are painted the area will brighten up considerably. The additional money it will cost for the owners of 148 Lockhart st to render the high section is not comparable to what it cost to erect the wall. I have never sought compensation for the dividing brick wall thinking they can put the money into finishing the wall on their side (i.e. render).

The height of the wall does not impinge on anyone's views.

The height of the wall does not throw any shadow on 148 Lockhart st, as it is their southern boundary and the sun is from the north. Any shadowing along their southern boundary is created by their own building.

The wall can be considered not excessively dominant given the scale and size of the houses sharing it (multi-storey).

The wall can be made attractive (more so, than a colourbond fence) as we have done at 150 Lockhart and 8 Wooltana St through the judicious use of paint, render or texture etc.

My client Nicholas Chan has been very accommodating to the owners of 148 Lockhart st to the point where he gave them \$4000 because they alleged the footing for the boundary wall adjacent to where their garage was being built

was not low enough when they possibly cut-in. Nicholas Chan paid anyway believing he was maintaining good relations with the new neighbours.

Nicholas Chan has also had to put up with shattered glass inside his house which occurred during a week of extensive compaction at 148 Lockhart St which his house shook quite alarmingly. Cracking also occurred.

Nicholas Chan is also concerned at the amount of debris and muck that makes its way over the "over-height" boundary wall. Tie wire leaving rust stains in the new swimming pool plaster, mortar splashes over his building and property.

Should the wall have to be cut, privacy issues will be created, 2 bedroom windows at 150 Lockhart st will look directly into the ground floor bedroom window and laundry sliding door at 148 Lockhart St and vice versa.

150 Lockhart st and 8 Wooltana st are architecturally designed houses by Fred Zuideveld. They take advantage of northern orientation principles with outdoor entertaining areas, swimming pools and living areas all facing north. The boundary wall is crucial to maintaining privacy to these sensitive areas from 148 Lockhart St.



David Fini

14/9/15



Director: G.D. Marocchi B.E. M.I.E. Aust CPEng



Perth, WA 60

PO BOX 87
Perth BC, WA 68

telephone: 9328 57
facsimile: 9328 57

email: gary@margroup.com
website: www.meg.com

Our ref: 2010-429

DAVID FINI DEVELOPMENTS
33 Douglas Road
Martin WA 6110

ATTENTION: David Fini

Dear Sir,

**RE: PROPOSED RESIDENTIAL DEVELOPMENT
150 LOCKHART STREET, cnr WOOLTANA STREET, COMO.**

As requested we have checked the structural documentation for the boundary retaining walls adjoining 148 Lockhart Street, & forward the following comments for your retrospective building license approval to be submitted to the City of South Perth. An aerial view of the boundary walls is attached below.



The ground level on the northern boundary rises approximately 3500mm from Lockhart Street to the **ROW**. The two residences on 150 Lockhart Street were designed to incorporate the level differences.

ACN 063 885 665

MEG documented a cavity filled brick retaining wall on the northern boundary, with a brick screen wall stiffened by attached brick piers. The boundary wall is protected by the construction of the two buildings either side of the wall. Refer to the attached details.

We have checked the structural design & confirm the height of the screen wall with reinforced attached piers is structurally adequate for the expected wind loading conditions in accordance with AS1170.2.

Yours faithfully,

G. Marocchi BE MIE Aust. CPEng.
SENIOR STRUCTURAL ENGINEER

14th September 2015

Enc:

PROPOSED RESIDENCE FOR MR N & MRS B LITIS
AT LOT 247, NO 148 LOCKHART STREET
COWLING STREETS

COMO WA 6152

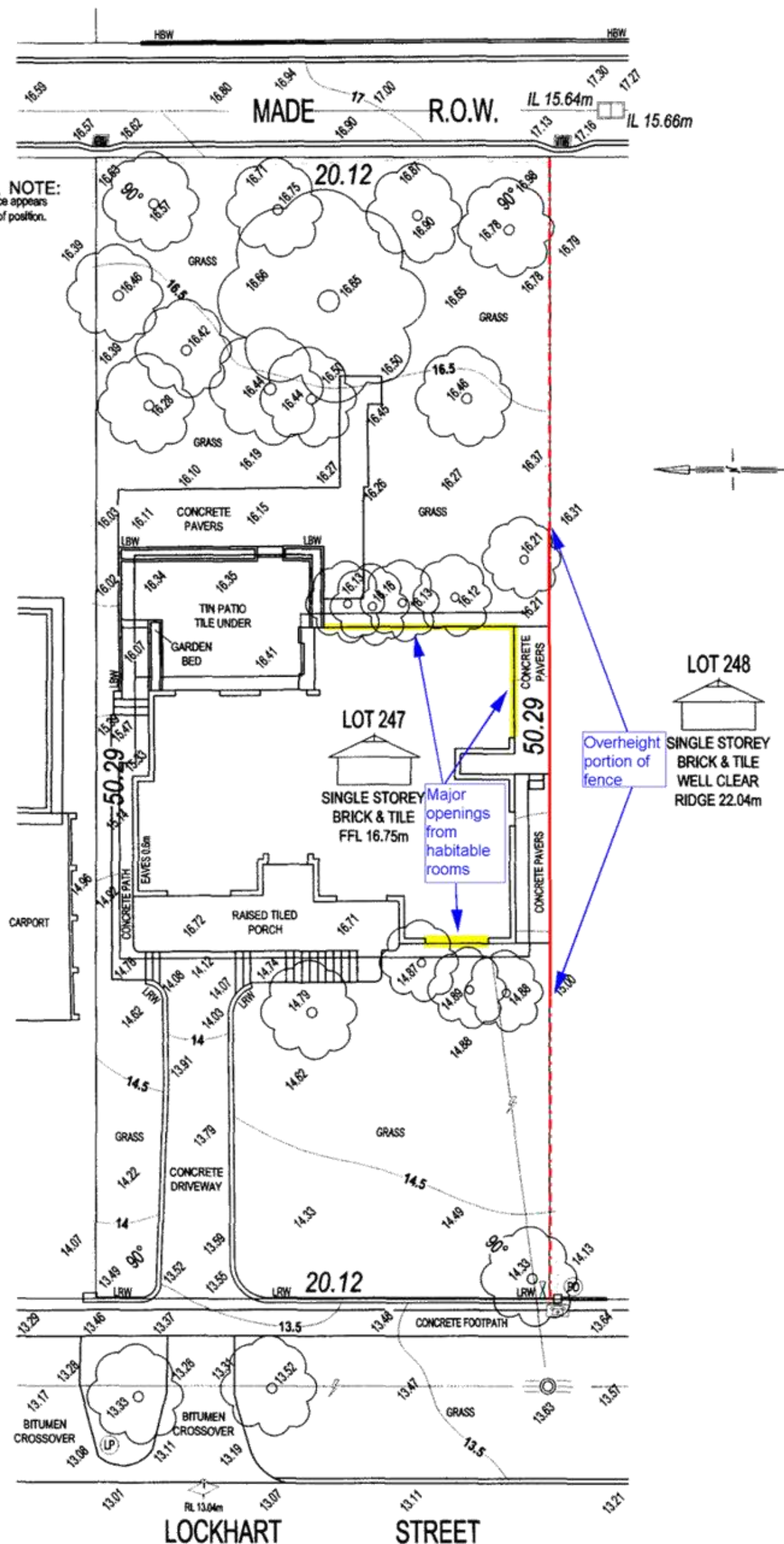
SCALE	1:200	JOB NO	617
DATE	07.06.10	DWG NO	
DRAWN	STU		

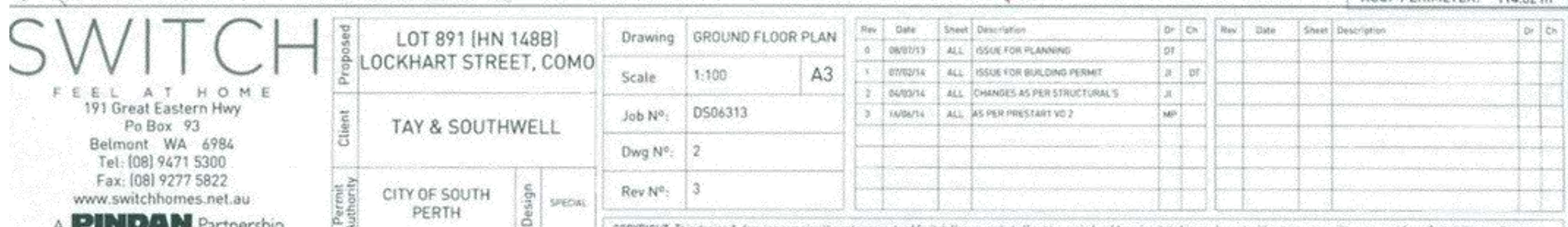
A01

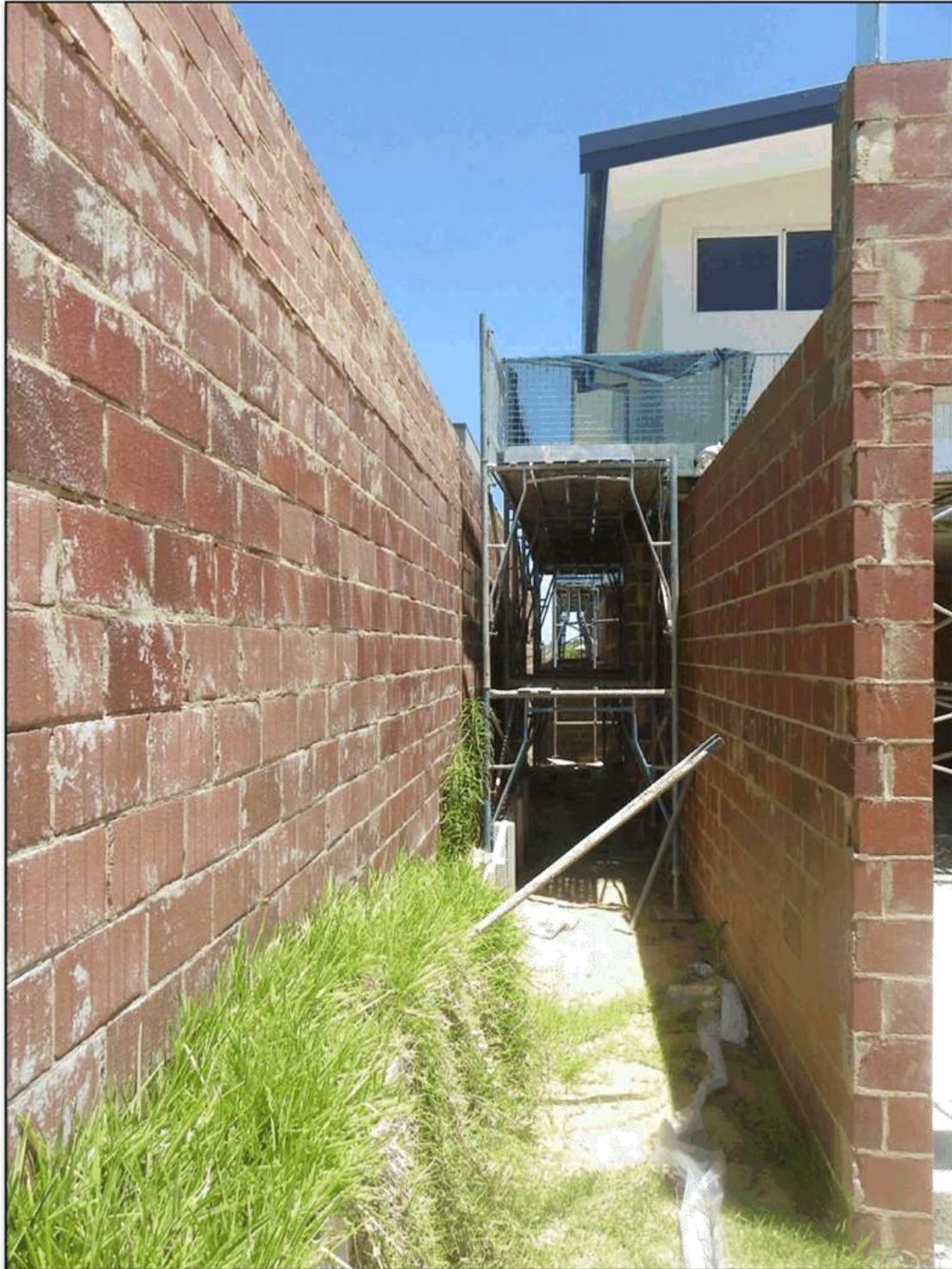
NOTE: ALL BUILDINGS AND STRUCTURES ON SITE TO BE DEMOLISHED

EXISTING SITE PLAN

 **NOTE:**
Fence appears
out of position.

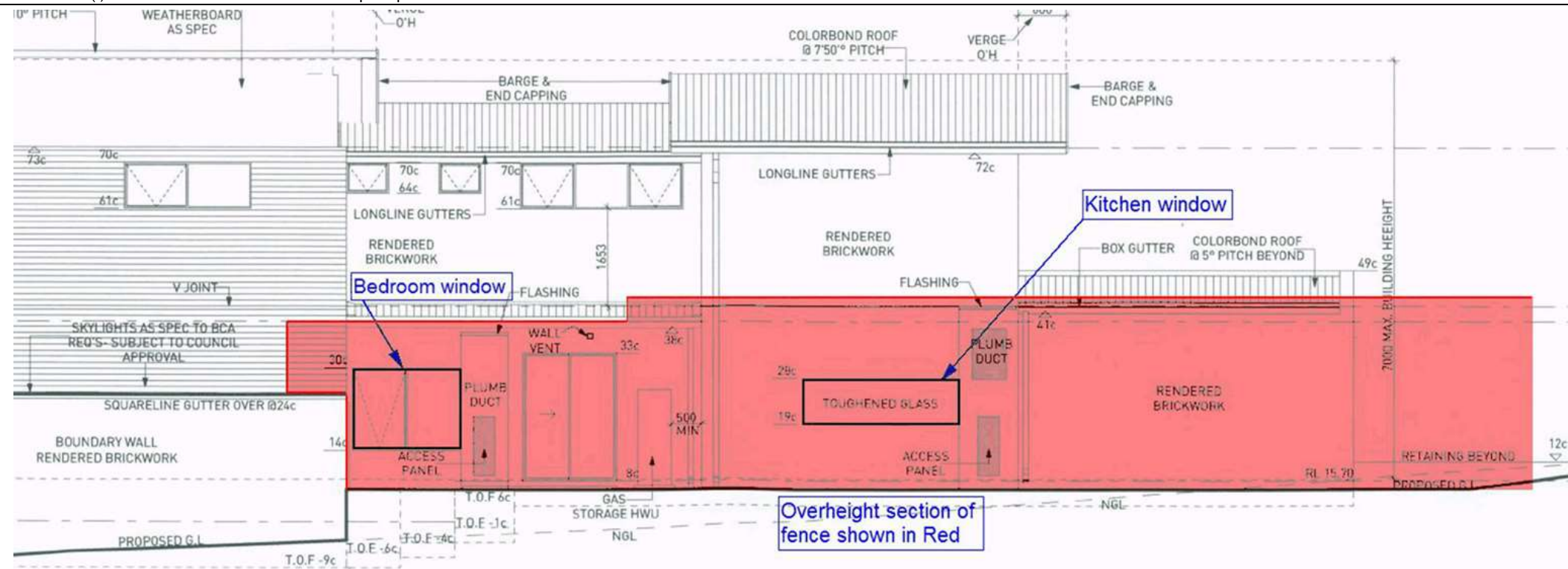


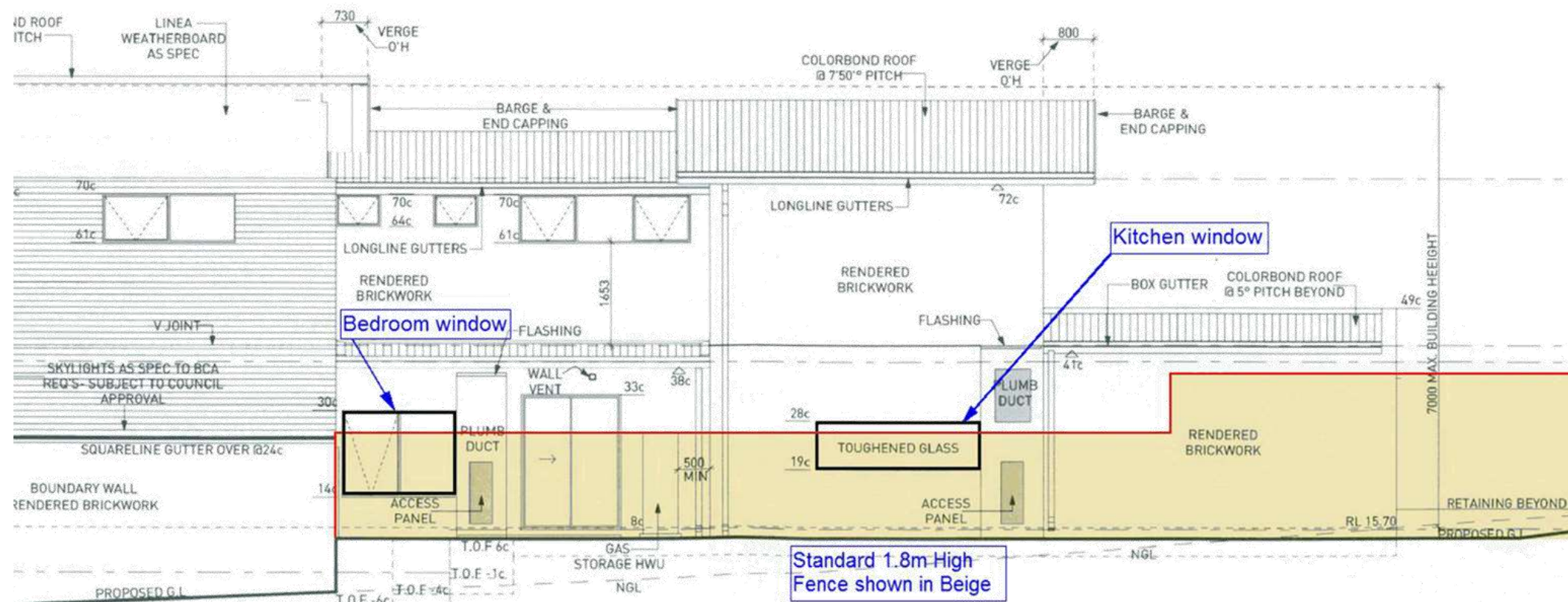












Policy P318 South Perth Station Precinct Application Requirements

Responsible Business Unit/s	Development Services
Responsible Officer	Manager Development Services
Affected Business Unit/s	Development Services

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POLICY OBJECTIVES

This policy aims to:

- Provide guidance on application information requirements for applications for comprehensive new development within the South Perth Station Precinct.
- Provide an explanation as to the Council's purpose in requiring the information, and how it will be applied.

POLICY SCOPE

This policy applies to developments with SCA 1 – South Perth Station Precinct, as defined in Schedule 9A of the City of South Perth Town Planning Scheme No. 6 (TPS 6).

POLICY STATEMENT

1. Introduction

The City aims to ensure that the evolution of the South Perth Station Street Precinct in accordance with Scheme objectives results in high quality development that contributes positively to the experience of the area for residents, workers, and recreational visitors alike. The City recognises that change is iterative, and wishes to ensure that each new development not only contributes to the realisation of the long term objectives for the precinct, but is also responsive to existing development that may remain unchanged for many years. Furthermore, the City aims to ensure that new development does not prejudice the options for future redevelopment of other sites in the future.

The scale and intensity of development possible under the provisions of SCA-1 is greater than was previously possible or that may be permitted in other precincts. Developments may be more complex in their composition and design than previous developments, and the potential impacts – both positive and negative – are greater. This being the case, the City has a responsibility to subject development proposals to close scrutiny to ensure the best possible outcome, and requires applications to provide sufficient information to allow for proper evaluation of both compliance with development standards and qualitative aspects of amenity and design quality.

This policy outlines the information required to accompany applications to enable the City to properly understand and evaluation the proposed development.

Material that must accompany applications for development approval is already set out in clause 63 of Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations). Schedule 2 includes the Deemed Provisions for all local planning schemes, and therefore override the provisions of clause 72 of TPS 6. Furthermore, except where specifically modified by TPS 6, the provisions of *State Planning Policy 3.1 Residential Design Codes* (R-Codes) apply to residential development in the Station Precinct, and in Part 3 identify the information that shall or may be required to accompany certain types of applications.

The information requirements set out in this policy are for the most part a compilation of the existing requirements of TPS 6 and applicable sections of the R-Codes relating to material that must accompany applications. By compiling these requirements into a single document and making clear the additional information that the City will require to accompany all applications for residential, mixed use and non-residential development within the Station Precinct, the City aims to improve the consistency of application content and assessment of proposals.

2. Context Analysis

Whilst achieving the objectives of the South Perth Station Precinct will see the area evolve and transform over time into a more urban and intensive place, the City is nevertheless concerned that this evolution will respect, build upon and enhance the positive environmental and social qualities of the South Perth peninsula and not destroy them. The short term quality of life of existing residents and businesses, and the amenity of existing developments and the public realm must be respected and developments designed and orientated in such a way as to minimise any potentially adverse impacts.

In order for a proposed development to be properly understood in terms of how well it will fit into its existing and proposed future setting, the City requires applications to include comprehensive urban design analysis of the character and setting of the area within which a proposed development will be located and to then demonstrate how the proposed development responds to that character and setting.

Context analysis is also important to ensure that proposed developments are not unfairly assessed as having a negative impact when they may actually improve or not affect certain pre-existing conditions in the environment. This can only be understood if the existing conditions are well documented and explained.

In relation to context analysis, the following information is required:

2.1. Context analysis plan at 1:200 showing:

- 2.1.1. The location of the site including street names, lot numbers, north point, scale bar, and the area and boundary dimensions of the site;
- 2.1.2. The existing and proposed ground levels to an established datum, preferably using AHD, contours at maximum intervals of 0.5 metres and spot levels at all boundaries at intervals of not more than 5 metres over the whole of the land the subject of the application;
- 2.1.3. The position and dimensions, setback distances both horizontal and vertical, of all existing buildings, retaining walls, and other structures;
- 2.1.4. The position, type, and size of any existing tree exceeding 3 metres and/or significant landscaping features;
- 2.1.5. The street verge, including footpaths, street trees, crossovers, truncations, power poles and any services such as telephone, gas, water and sewerage in the verge;
- 2.1.6. The location of all service connections;
- 2.1.7. The location of any easement or piped services traversing the site and any sewer or sewer connection point servicing the site;
- 2.1.8. The location of existing means of access for pedestrian and vehicles to and from the site;
- 2.1.9. The location of any access restrictions such as road islands adjacent to the site;
- 2.1.10. Existing traffic volumes on adjacent streets;

- 2.1.11. The position of any adjoining and existing buildings that might affect, or be affected by, the proposed development, including the position of the proposed development, levels and positions of habitable room windows, and designated locations of outdoor living areas;
- 2.1.12. The shadow cast by existing development and structures on the site and those on adjoining sites at noon on 21 June;
- 2.1.13. Exposure of the site to prevailing winds;
- 2.1.14. Any impacted view-lines of significance related to the streetscape and to and from public places – including but not confined to, to and from the Swan River;
- 2.1.15. Streetscape elevations (ie: photographs and/or drawings of adjoining development) showing any existing buildings on-site and on the adjoining sites, showing height, roof and wall materials, windows and roof pitch;
- 2.1.16. A cadastral base survey identifying all lots located within the street block on which the site is located as well as the lots on the opposite side of the street and location, height, street setback and land use of all buildings located on these lots;
- 2.1.17. Any listed heritage places and landmarks within close proximity to the development;
- 2.1.18. Location of retail and community services and public open spaces within 800 metres walkable catchment;
- 2.1.19. Location of train station on high frequency rail routes (800 metres walkable catchment) and bus stops on high frequency bus routes (250 metres walkable catchment);
- 2.1.20. Any sources of nuisance emissions such as noise, light, and odour that may have a bearing on any residential elements of the proposal.

3. Proposal and Response to Context

In addition to the context analysis, the City requires applications to demonstrate how the proposed development responds to the identified context. This will include consideration of the impact on the development on existing development, particularly residential amenity of any immediately adjacent development, including access to daylight and ventilation. The impact of the proposed development on the public realm, including the creation of micro-climate and potential adverse wind conditions is to be considered and addressed.

The manner in which the proposal responds to the future context of the locality should also be addressed. This includes adjacent areas/precincts with a different future scale and intensity. The City expects proposals to consider ways of managing transitions in height between the development site and adjacent sites/precincts with lower height potential.

Similarly it is the City's expectation that proposed development will not prejudice the opportunities for future comprehensive and high quality development on other sites, or the ultimate realisation of the objectives for the precinct as destination for employment and recreation as well as a quality residential environment. Therefore development proposals should address how consideration has been given to preserving options for future development of adjacent sites so that the cumulative and collective impact of all development on the amenity of the precinct as a place to live, work and visit will be visually cohesive and socially and economically positive.

This may include 'macro' impacts such as on the South Perth skyline and the creation of a range of employment and recreation opportunities, and 'micro' impacts such as the micro-climate and safety of adjacent streets and public spaces, and the amenity of existing adjacent development. It may include the spacing and orientation of tower elements to ensure that the amenity of building occupants can be maintained over time, and not adversely impact or be impacted by development on other sites (existing or future).

In relation to response to context, the following information is required:

3.1. Proposed development site plan at 1:100 showing:

- 3.1.1. Property details, north point and scale bar, and existing contours and levels as set out in requirements A(i)–(ii);
- 3.1.2. The horizontal position, floor levels and positions of all openings of any existing (where retained) and proposed building or part of a building on the subject property where any such building is within 7.5 metres of a lot boundary;
- 3.1.3. The position and levels of all proposed buildings, walls, fences, retaining walls and other structures;
- 3.1.4. The position of paved vehicle, pedestrian access ways and on-site and off-site car parking spaces;
- 3.1.5. The location and dimensions of any area proposed to be provided for the loading and unloading of vehicles carrying goods or commodities to and from the site and the means of access to and from those areas;
- 3.1.6. Existing structures, trees and any environmental features (indicate which are to be retained and which are to be removed);
- 3.1.7. Private open space areas and dimensions including areas to be landscaped;
- 3.1.8. Proposed finished site levels;

- 3.1.9. A shadow cast diagram indicating the shadow cast by the development at 10am, noon and 2pm on the 22 August, 22 September and 22 October;
- 3.1.10. Site area boundaries of any proposed strata lots;
- 3.1.11. Position and dimensions of any balcony or major openings to any active habitable space in any wall of an adjoining building which is visible from the development site and is located within 6 metres of a boundary of the development site;
- 3.1.12. Position and level of any accessible area (e.g. lawn, paving, decking, balcony or swimming pool) on any adjoining property and within 7.5 metres of the boundaries of the development site;
- 3.1.13. The nature and extent of any open space and landscaping proposed for the site;
- 3.1.14. Any proposed sources of potential nuisance emissions such as noise, light, and odour within the proposal that may have a bearing on any residential elements of the proposal;
- 3.1.15. Additional or marked-up plans and sections showing critical lines of sight from major openings as they relate to adjoining properties;
- 3.1.16. Details of how the design considers overlooking;
- 3.1.17. Plans and sections with sufficient information to explain how any neighbouring property/properties would be affected by overshadowing;
- 3.1.18. Landscape development plan identifying areas of in-ground and other planting, paving, lighting, furnishing and other elements to provide for the needs, safety and security of building occupants and visitors and that makes a positive contribution to the streetscape including, where applicable, any proposed streetscape enhancement work by the City of South Perth.

4. Proposal and Development Quality and Amenity

Development plans are required to provide sufficient information to enable an assessment of the design quality and amenity proposed. The City expects comprehensive developments to exhibit high architectural and urban design quality. This is especially critical for any tall buildings, that is, buildings notably taller than surrounding buildings, because of their visual prominence. The amenity of building occupants is also a consideration.

In relation to the proposed building/s and other structures, the following information is required:

4.1.. Development drawings showing the following:

- 4.1.1. All floor plans and their distances from the boundaries of the site at each level of the development;
- 4.1.2. All elevations, with the existing and natural ground levels, wall heights and roof heights related to an established datum, preferably using AHD;
- 4.1.3. Cross-sections through buildings and any proposed areas of excavation or filling with the relevant existing, natural and proposed levels sufficient to show the relationship between building levels, existing and proposed ground levels, and development on existing properties;
- 4.1.4. Proposed materials, colours and finishes of the exterior of the building;
- 4.1.5. The location and size of any proposed signs;
- 4.1.6. For proposals seeking a height variation under Table B of Schedule 9A and that include a residential component, sufficient plans and accompanying information to demonstrate compliance with the relevant 'Silver Level' provisions of the *Livable Housing Design Guidelines* produced by Livable Housing Australia;
- 4.1.7. 3D coloured renders from various angles of the proposed development showing it in the context of the street, and for proposals within the Special Design Area seeking variations to height, long views of the building should also be provided to allow an assessment of its visual impact on the South Perth skyline and from other locations within South Perth;
- 4.1.8. 3D computer model of the exterior and of the development, provided in electronic form, along with details of the software used (software type and version, geographic/projection references, file format, etc), to enable input into a 3D model of the precinct that the City may develop.

5. Other Elements

Other information required to support the application is as follows:

5.1. Supporting documentation outlining:

- 5.1.1. The existing and proposed use of the site, including proposed hours of operation of any non-residential elements;
- 5.1.2. The manner in which the proposed development addresses the existing and proposed context, with particular reference to the elements described in the site analysis plan (requirement 1);

- 5.1.3. Transport impact assessment outlining how the proposed development is likely to impact on cumulative traffic volumes and movement, and measures proposed to mitigate any potentially negative impacts, in accordance with WAPC and City of South Perth Guidelines;
- 5.1.4. Information on likely wind impacts of the proposed development on the adjacent public realm and neighbouring sites, including identification of measures to be taken to mitigate any potential negative impacts;
- 5.1.5. For proposals seeking a height variation by satisfaction of the performance criteria in Table B of Schedule 9A, a report identifying the manner in which the proposed development meets the relevant performance criteria is required;
- 5.1.6. In the case of developments adjacent to or incorporating a heritage place, a heritage impact statement demonstrating how the heritage values of that place are to be protected and/or conserved, based on the principles outlined in the Burra Charter;
- 5.1.7. Proposed manner of waste management (Waste Management Plan);
- 5.1.8. Details of any proposed public art concept/opportunity to be incorporated into the development including estimated value of the proposed art.
- 5.1.9. Estimated employment numbers for the proposed land uses to be accommodated, and an explanation of how the numbers were derived.
- 5.1.10. Construction Management Plan, including noise, vehicle movements, dust suppression, traffic management, contractor parking, waste disposal, pedestrian safety, site security.
- 5.1.11. Tree Management Plan by a qualified Arborist for any street tree potentially affect by the proposal
- 5.1.12. Parking Management Plan
- 5.1.13. Development Summary Table detailing plot ratio areas (for residential and non-residential and listing specific uses), car parking numbers for both res & non-res, bicycle bays and shower/locker facilities, ground floor uses, unit types, number of storeys etc.

6. Assessment of Applications

In addition to referring proposals to the City of South Perth Design Advisory Consultants Group, the City will seek comment on the proposed architectural and urban design of proposals seeking variations to height under Table B from the Office of the Government Architect (OGA). The City also may refer other proposals to the OGA if it requires additional advice on any design aspect of the proposal.

7. Checklist

A checklist of the requirements of this policy is appended. Applicants are to complete the checklist and lodge it along with other application documents.

LEGISLATION/ LOCAL LAW REQUIREMENTS

*City of South Perth Town Planning Scheme No. 6
Planning and Development (Local Planning Schemes) Regulations 2015*

OTHER RELEVANT POLICIES/ KEY DOCUMENTS

P302: Signs
P312: Serviced Apartments
P307: Family Day Care and Child Day Care Centres
P317: Licenced Premises

Livable Housing Guidelines - Livable Housing Australia, current edition. These guidelines can be downloaded from the Livable Australia website <http://www.livablehousingaustralia.org.au/>.

Transport Assessment Guidelines for Developments Volume 4 – Individual Developments – Western Australian Planning Commission. These guidelines and associated checklist can be downloaded from the Department of Planning website <http://www.planning.wa.gov.au/publications/1197.asp>.

South Perth Station Precinct Traffic Impact Assessment Criteria.

Please indicate whether the required information has been provided and submit this form with your application.

Information Required	Y	N	N/A
Context analysis plan at 1:200 showing:			
1. The location of the site including street names, lot numbers, north point, scale bar, and the area and boundary dimensions of the site;			
2. The existing and proposed ground levels to an established datum, preferably using AHD, contours at maximum intervals of 0.5 metres and spot levels at all boundaries at intervals of not more than 5 metres over the whole of the land the subject of the application;			
3. The position and dimensions, setback distances both horizontal and vertical, of all existing buildings, retaining walls, and other structures;			
4. The position, type, and size of any existing tree exceeding 3 metres and/or significant landscaping features;			
5. The street verge, including footpaths, street trees, crossovers, truncations, power poles and any services such as telephone, gas, water and sewerage in the verge;			
6. The location of all service connections;			
7. The location of any easement or piped services traversing the site and any sewer or sewer connection point servicing the site;			
8. The location of existing means of access for pedestrian and vehicles to and from the site;			
9. The location of any access restrictions such as road islands adjacent to the site;			
10. Current traffic volumes on adjacent streets;			
11. The position of any adjoining and existing buildings that might affect, or be affected by, the proposed development, including the position of the proposed development, levels and positions of habitable room windows, and designated locations of outdoor living areas;			
12. The shadow cast by existing development and structures on the site and those on adjoining sites at noon on 21 June;			
13. Exposure of the site to prevailing winds;			
14. Any impacted view-lines of significance related to the streetscape and to and from public places – including but not confined to to and from the Swan River;			
15. Streetscape elevations (ie: photographs and/or drawings of adjoining development) showing any existing buildings on-site and on the adjoining sites, showing height, roof and wall materials, windows and roof pitch;			
16. A cadastral base survey identifying all lots located within the street block on which the site is located as well as the lots on the opposite side of the street and location, height, street setback and land use of all buildings located on these lots;			
17. Any listed heritage places and landmarks within close proximity to the development;			
18. Location of retail and community services and public open spaces within 800 metres walkable catchment;			
19. Location of train station on high frequency rail routes (800 metres walkable catchment) and bus stops on high frequency bus routes (250 metres walkable catchment);			

Information Required	Y	N	N/A
20. Any sources of nuisance emissions such as noise, light, and odour that may have a bearing on any residential elements of the proposal.			
Proposed development site plan at 1:100 showing:			
21. Property details, north point and scale bar, and existing contours and levels as set out in requirements 1 and 2;			
22. The horizontal position, floor levels and positions of all openings of any existing and proposed building or part of a building on the subject property where any such building is within 7.5 metres of a lot boundary;			
23. The position and levels of all proposed buildings, walls, fences, retaining walls and other structures;			
24. The position of paved vehicle, pedestrian access ways and on-site and off-site car parking spaces;			
25. The location and dimensions of any area proposed to be provided for the loading and unloading of vehicles carrying goods or commodities to and from the site and the means of access to and from those areas;			
26. Existing structures, trees and any environmental features (indicate which are to be retained and which are to be removed);			
27. Private open space areas and dimensions including areas to be landscaped;			
28. Proposed finished site levels;			
29. A shadow cast diagram indicating the shadow cast by the development at 10am, noon and 2pm on the 22 August, 22 September and 22 October;			
30. Site area boundaries of any proposed strata lots;			
31. Position and dimensions of any balcony or major openings to any active habitable space in any wall of an adjoining building which is visible from the development site and is located within 6 metres of a boundary of the development site;			
32. Position and level of any accessible area (e.g. lawn, paving, decking, balcony or swimming pool) on any adjoining property and within 7.5 metres of the boundaries of the development site;			
33. The nature and extent of any open space and landscaping proposed for the site;			
34. Any proposed sources of potential nuisance emissions such as noise, light, and odour within the proposal that may have a bearing on any residential elements of the proposal;			
35. Additional or marked-up plans and sections showing critical lines of sight from major openings as they relate to the adjoining property;			
36. Details of screening or other measures proposed to be used to reduce overlooking;			
37. Plans and sections of sufficient information to explain how the adjoining property as a whole would be affected by overshadowing;			
38. Landscape development plan identifying areas of in-ground and other planting, paving, lighting, furnishing and other elements to provide for the needs, safety and security of building occupants and visitors and that makes a positive contribution to the streetscape including, where applicable, any proposed streetscape enhancement work by the City of South Perth.			

Information Required	Y	N	N/A
Development drawings showing the following:			
39. All floor plans and their distances from the boundaries of the site at each level of the development;			
40. All elevations, with the existing and natural ground levels, wall heights and roof heights related to an established datum, preferably using AHD;			
41. Cross-sections through buildings and any proposed areas of excavation or filling with the relevant existing, natural and proposed levels sufficient to show the relationship between building levels, existing and proposed ground levels, and development on existing properties;			
42. Proposed materials, colours and finishes of the exterior of the building;			
43. The location and size of any proposed signs;			
44. Sufficient plans and accompanying information to demonstrate compliance with the relevant 'Silver Level' provisions of the <i>Livable Housing Design Guidelines</i> .			
45. 3D coloured renders of the proposed development showing it in the context of the street, and for proposals within the Special Design Area seeking variations to height, long views of the building should also be provided to allow an assessment of its visual impact on the South Perth skyline and from other locations within South Perth;			
46. 3D computer model of the exterior and of the development, provided in electronic form, along with details of the software used (software type and version, geographic/projection references, file format, etc).			
Supporting documentation outlining:			
47. The existing and proposed use of the site, including proposed hours of operation of any non-residential elements;			
48. The manner in which the proposed development addresses the existing and proposed context, with particular reference to the elements described in the context analysis plan;			
49. Transport impact assessment outlining how the proposed development is likely to impact on cumulative traffic volumes and movement, and measures proposed to mitigate any potentially negative impacts.			
50. Information on likely wind impacts of the proposed development on the adjacent public realm and neighbouring sites, including identification of measures to be taken to mitigate any potential negative impacts, in accordance with WAPC and City of South Perth Guidelines;			
51. Information demonstrating how performance criteria are complied with;			
52. In the case of developments adjacent to or incorporating a heritage place, a heritage impact statement demonstrating how the heritage values of that place are to be protected and/or conserved, based on the principles outlined in the Burra Charter;			
53. Proposed manner of waste management (waste management plan);			
54. Details of any proposed public art to be incorporated into the development including estimated value of the proposed art;			
55. Estimated employment numbers for the proposed land uses to be accommodated, and an explanation of how the numbers were derived.			



Information Required	Y	N	N/A
56. Construction Management Plan, including noise, vehicle movements, dust suppression, traffic management, contractor parking, waste disposal, pedestrian safety, site security;			
57. Tree Management Plan by a qualified Arborist for any street tree potentially affect by the proposal;			
58. Parking Management Plan;			
59. Development Summary Table detailing plot ratio areas (for residential and non-residential and listing specific uses), car parking numbers for both res & non-res, bicycle bays and shower/locker facilities, ground floor uses, unit types, number of storeys etc.			

DRAFT

Proposal for Como Hotel application for development

1/ prize poker to run on Tuesday evenings to be set up from 6pm and finished by 12am. This must finish by 12am due to nature of liquor license held at the venue.

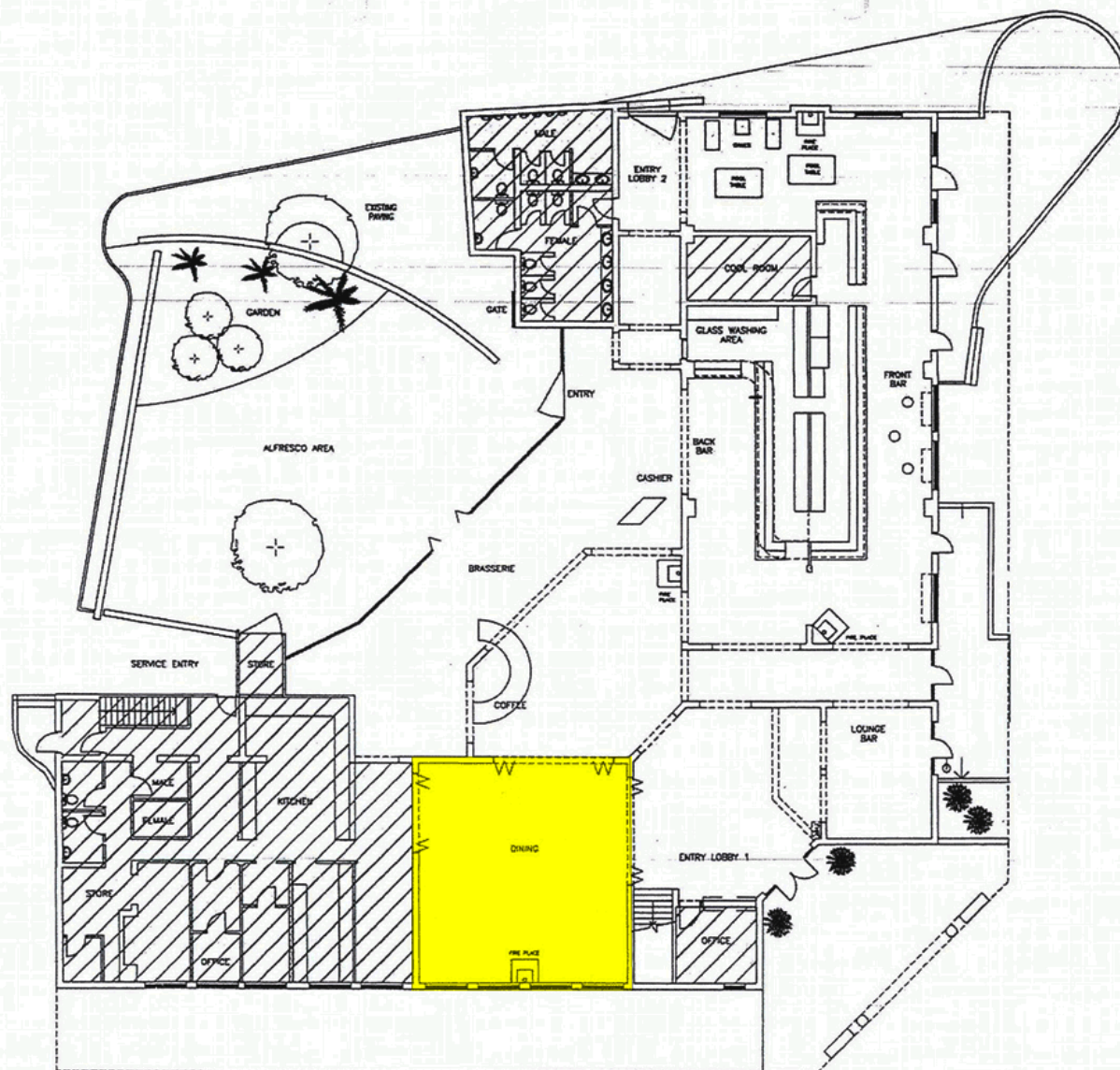
2/ area to be used is currently called "dining room" and is used as part of licensed venue bistro area with table service

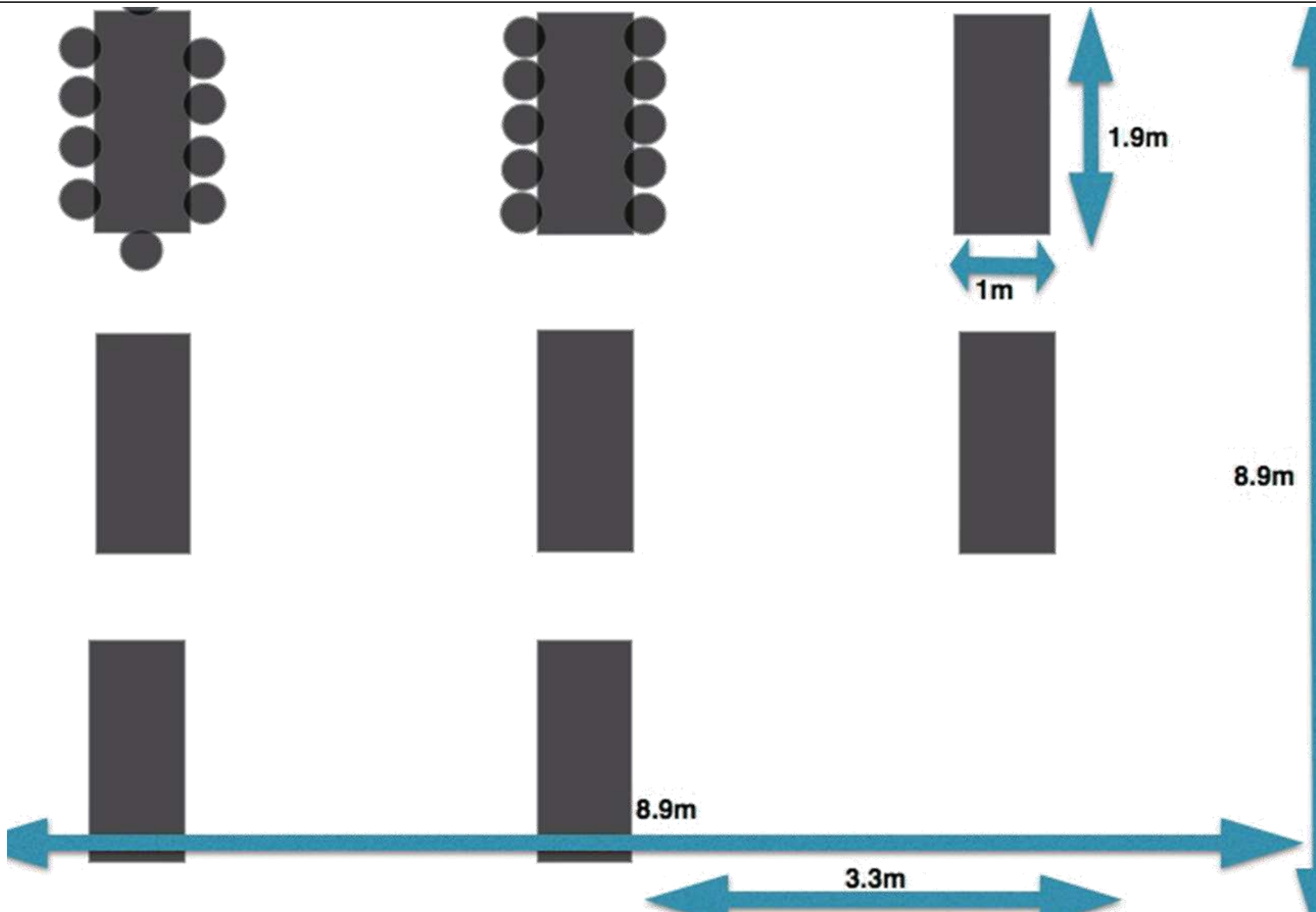
3/ table service for food and beverages will still be available to "dinning room" however the normal dinning tables will be changed for poker/card playing tables

4/ players to use existing venue facilities for parking, eating, drinking and toilets

5/ no amplified music will be used due to the nature of poker/card playing activities

6/ The Como Hotel complies with all state and national RSA policies and has a full register of staff training





CITY OF SOUTH PERTH
STATEMENT OF FINANCIAL POSITION AS AT 31 MARCH 2016

	2016 YTD \$	2015 YTD \$	2015 \$
CURRENT ASSETS			
Cash	2,653,334	1,011,615	3,432,476
Investments	73,845,490	79,699,606	69,545,593
Receivables	2,688,640	3,264,347	2,965,050
Inventories	214,434	167,340	106,238
Inventories - Assets Held for Sale	0	2,180,348	2,180,348
Other Current Assets	1,002,527	1,132,029	818,186
TOTAL CURRENT ASSETS	\$ 80,404,425	\$ 87,455,285	\$ 79,047,892
NON-CURRENT ASSETS			
Receivables	1,998,465	2,264,322	2,091,973
Inventories - Assets Held for Sale	1,081,256	946,464	946,464
Investments	284,205	321,541	284,205
Property, Plant and Equipment	366,223,324	359,841,040	368,082,798
Infrastructure	240,012,179	197,258,477	244,849,679
Intangibles	572,238	445,541	627,761
TOTAL NON-CURRENT ASSETS	\$ 610,171,668	\$ 561,077,385	\$ 616,882,880
TOTAL ASSETS	\$ 690,576,094	\$ 648,532,670	\$ 695,930,772
CURRENT LIABILITIES			
Payables	4,272,733	5,984,181	7,651,205
Interest Bearing Loans and Borrowings	236,358	274,489	1,149,859
Provisions	3,726,175	3,842,322	4,011,834
TOTAL CURRENT LIABILITIES	\$ 8,235,266	\$ 10,100,993	\$ 12,812,897
NON-CURRENT LIABILITIES			
Payables	869,233	658,787	601,200
Interest Bearing Loans and Borrowings	8,081,397	9,231,255	8,081,397
CPV Leaseholder Liability	29,733,573	29,501,749	29,921,148
Provisions	284,648	310,011	284,648
TOTAL NON-CURRENT LIABILITIES	\$ 38,968,850	\$ 39,701,802	\$ 38,888,392
TOTAL LIABILITIES	\$ 47,204,116	\$ 49,802,794	\$ 51,701,290
NET ASSETS	\$ 643,371,978	\$ 598,729,876	\$ 644,229,482
EQUITY			
Retained Surplus	115,201,327	114,580,323	110,437,627
Reserves	528,170,651	484,149,553	533,791,855
TOTAL EQUITY	\$ 643,371,978	\$ 598,729,876	\$ 644,229,482

**CITY OF SOUTH PERTH
STATEMENT OF CHANGE IN EQUITY
AS AT 31 MARCH 2016**

	2016 YTD	2015 YTD	2015
	\$	\$	\$
RESERVES			
Cash Backed			
Balance at beginning of reporting period	59,329,041	36,227,586	36,227,586
Aggregate transfers to Retained Earnings	(15,849,266)	(11,141,761)	(12,182,612)
Aggregate transfers from Retained Earnings	10,228,062	32,338,397	35,284,067
Balance at end of reporting period	<u>\$ 53,707,838</u>	<u>\$ 57,424,222</u>	<u>\$ 59,329,041</u>
Non - Cash Backed			
Asset Revaluation Reserve	474,462,814	426,725,331	474,462,814
Balance at end of reporting period	<u>\$ 474,462,814</u>	<u>\$ 426,725,331</u>	<u>\$ 474,462,814</u>
TOTAL RESERVES	<u>\$ 528,170,651</u>	<u>\$ 484,149,553</u>	<u>\$ 533,791,855</u>
RETAINED EARNINGS			
Balance at beginning of reporting period	110,437,627	107,564,021	107,564,021
Initial adjustments to comply with accounting standards	-	-	-
Change in Net Assets from Operations	(857,503)	28,212,938	25,975,061
Aggregate transfers to Reserves	(10,228,062)	(32,338,397)	(35,284,067)
Aggregate transfers from Reserves	15,849,266	11,141,761	12,182,612
Balance at end of reporting period	<u>\$ 115,201,327</u>	<u>\$ 114,580,323</u>	<u>\$ 110,437,627</u>
TOTAL EQUITY	<u>\$ 643,371,978</u>	<u>\$ 598,729,876</u>	<u>\$ 644,229,482</u>

CITY OF SOUTH PERTH
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (c)

Key Responsibility Areas	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	Total Budget
REVENUE											
Chief Executive's Office											
City Administration	0	0	0	U		16,500	16,833	333	F	2	16,500
Human Resources Admin Revenue	0	0	0	U		0	0	0	U		0
Governance Admin	0	0	0	U		0	0	0	U		0
Ranger Services											
Animal Control	3,700	6,464	2,764	F	75	84,350	85,520	1,170	F	1	90,500
Fire Prevention	0	0	0	U		2,500	1,299	1,201	U	48	2,500
Parking Management	153,100	147,131	5,969	U	4	1,275,700	1,247,261	28,439	U	2	1,701,500
District Rangers	1,000	3,200	2,200	F	220	8,000	12,167	4,167	F	52	10,000
Sub Total Revenue - Ranger Services	157,800	156,795	1,005	U	1	1,370,550	1,346,248	24,302	U	2	1,804,500
Total Revenue - Governance & Legal	157,800	156,795	1,005	U	1	1,370,550	1,346,248	24,302	U	2	1,804,500
Total Revenue - Chief Executive's Office	157,800	156,795	1,005	U	1	1,387,050	1,363,081	23,969	U	2	1,821,000
Directorate - Financial & Information Services											
Administration	0	0	0	U		22,000	22,327	327	F	1	22,000
Financial Services											
Administration	2,500	2,673	173	F	7	433,500	437,155	3,655	F	1	571,000
Investment Activities	253,975	209,962	44,013	U	17	2,135,515	2,092,225	43,290	U	2	2,938,672
Rating Activities	16,000	18,383	2,383	F	15	33,461,751	33,490,598	28,847	F	0	33,516,251
Property Management	44,000	44,944	944	F	2	313,500	320,018	6,518	F	2	375,000
Total Revenue - Financial Services	316,475	275,962	40,513	U	13	36,366,266	36,362,324	3,942	U	0	37,422,923
Information Services											
Information Technology	0	0	0	U		0	0	0	U		0
Total Revenue - Information Services	0	0	0	U		0	0	0	U		0
Library Services											
Administration	1,600	1,247	353	U	22	9,950	12,689	2,739	F	28	13,250
Civic Centre Library	1,050	1,010	40	U	4	9,850	9,547	303	U	3	13,000
Manning Library	200	351	151	F	76	1,900	1,907	7	F	0	2,500
Old Mill	200	291	91	F	46	1,900	2,307	407	F	21	2,500
Total Revenue - Library Services	3,050	2,899	151	U	5	23,600	26,450	2,850	F	12	31,250
Total Revenue - Dir Financial & Info Services	319,525	278,861	40,664	U	13	36,389,866	36,388,773	1,093	U	0	37,454,173

CITY OF SOUTH PERTH
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (c)

Key Responsibility Areas	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	Total Budget
Directorate - Development & Community Services											
Administration	0	0	0	U		0	0	0	U		0
Planning	75,000	62,152	12,848	U	17	630,100	689,321	59,221	F	9	850,150
Building Services	42,530	19,453	23,077	U	54	398,255	448,476	50,221	F	13	495,250
Community, Culture & Recreation											
Administration	200	77	123	U	61	89,400	91,306	1,906	F	2	90,000
Major Events	0	0	0	U		307,500	308,182	682	F	0	307,500
Community Events	0	0	0	U		15,000	15,628	628	F	4	15,000
Fiesta	50,000	25,120	24,880	U	50	50,000	30,044	19,956	U	40	50,000
Recreation & Facility Bookings	10,000	15,964	5,964	F	60	215,000	211,706	3,294	U	2	260,000
Senior Citizens	0	0	0	U		0	0	0	U		0
Safer City Program	0	0	0	U		0	0	0	U		0
Halls & Public Buildings	13,250	15,651	2,401	F	18	153,750	154,824	1,074	F	1	199,500
Total Revenue - Community, Culture & Recreation	73,450	56,812	16,638	U	23	830,650	811,689	18,961	U	2	922,000
Collier Park Retirement Complex											
Collier Park Village	93,540	91,664	1,876	U	2	812,060	800,887	11,173	U	1	1,065,443
Collier Park Hostel	0	0	0	U		0	0	0	U		0
Collier Park Community Centre	475	455	20	U	4	4,275	4,091	184	U	4	5,750
Total Revenue - Collier Park Complex	94,015	92,119	1,897	U	2	816,335	804,978	11,357	U	1	1,071,193
Health & Regulatory Services											
Administration	0	283	283	F		13,500	14,463	963	F	7	14,000
Preventative Services	0	1,800	1,800	F		115,000	120,735	5,735	F	5	115,000
Other Sanitation	250	0	250	U		750	2,400	1,650	F	220	1,000
Total Revenue - Health Services	250	2,083	1,833	F	733	129,250	137,598	8,348	F	6	130,000
Total Revenue - Dir Development & Community	285,245	232,619	52,626	U	18	2,804,590	2,892,062	87,472	F	3	3,468,593
TOTAL REVENUE - ADMIN BUSINESS UNITS	762,570	668,275	94,295	U	12	40,581,506	40,643,916	62,410	F	0	42,743,766

CITY OF SOUTH PERTH
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (c)

Key Responsibility Areas	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	Total Budget
EXPENDITURE											
Chief Executive's Office											
City Administration											
Corporate Support	54,035	37,422	16,613	F	31	556,805	511,513	45,292	F	8	887,551
Building Operating Costs	8,270	6,569	1,701	F	21	73,440	61,115	12,325	F	17	89,000
Human Resources Administration	19,105	12,236	6,869	F	36	178,965	185,670	6,705	U	4	236,246
Total Expense - City Administration	81,410	56,227	25,183	F	31	809,210	758,297	50,913	F	6	1,212,797
Governance Admin	70,805	39,864	30,941	F	44	651,810	559,736	92,074	F	14	819,707
Governance - Elected Members	113,885	85,735	28,150	F	25	1,148,955	1,068,573	80,382	F	7	1,527,622
City Communications											
Community Promotions	45,570	63,434	17,864	U	39	461,985	440,119	21,866	F	5	594,799
Publications	2,500	11,803	9,303	U	372	133,750	129,517	4,233	F	3	177,500
Ranger Services											
Animal Control	25,870	33,076	7,206	U	28	227,135	228,308	1,173	U	1	301,007
Fire Prevention	1,395	1,800	405	U	29	95,415	95,089	326	F	0	99,376
Parking Management	71,130	70,620	510	F	1	576,930	602,666	25,736	U	4	787,196
District Rangers	24,485	40,198	15,713	U	64	251,615	250,216	1,399	F	1	322,285
Other Law & Order	0	0	0	F		2,000	1,636	364	F	18	2,000
Total Expense - Ranger Services	122,880	145,694	22,814	U	19	1,153,095	1,177,916	24,821	U	2	1,511,864
Total Expense - Governance	355,640	346,529	9,111	F	3	3,549,595	3,375,861	173,734	F	5	4,631,492
Total Expense - Chief Executive's Office	437,050	402,756	34,294	F	8	4,358,805	4,134,158	224,647	F	5	5,844,289
Director Financial & Info Services											
Administration	30,220	16,500	13,720	F	45	253,690	161,475	92,215	F	36	334,240
Financial Services	0	0	0	F		0	0	0	F		0
Administration	27,500	39,235	11,735	U	43	299,580	300,190	610	U	0	359,743
Rating Activities	23,400	17,490	5,910	F	25	259,700	248,550	11,150	F	4	307,757
Investment Activities	9,250	14,375	5,125	U	55	229,200	228,994	206	F	0	489,247
Property Management	12,305	16,020	3,715	U	30	127,110	130,326	3,216	U	3	164,000
Total Expense - Financial Services	102,675	103,620	945	U	1	1,169,280	1,069,535	99,745	F	9	1,654,987
Information Technology	100,950	78,326	22,624	F	22	774,480	746,777	27,703	F	4	943,151
Customer Services Team	28,795	22,756	6,039	F	21	237,135	222,808	14,327	F	6	335,296

CITY OF SOUTH PERTH
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (c)

Key Responsibility Areas	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	Total Budget
Library Services											
Library Administration	24,455	27,866	3,411	U	14	176,225	158,239	17,986	F	10	224,600
Civic Centre Library	135,805	89,189	46,616	F	34	1,181,105	1,192,827	11,722	U	1	1,571,484
Manning Library	60,010	101,043	41,033	U	68	525,315	530,681	5,366	U	1	698,713
Local Studies Collection	420	871	451	U	107	8,740	10,522	1,782	U	20	10,000
Old Mill	5,290	6,404	1,114	U	21	41,310	36,933	4,377	F	11	53,614
Total Expense - Library Services	225,980	225,371	609	F	0	1,932,695	1,929,202	3,493	F	0	2,558,411
Total Expense - Dir Finance & Info Services	458,400	430,073	28,327	F	6	4,113,590	3,968,322	145,268	F	4	5,491,845
Directorate - Development & Community Services											
Administration	22,590	20,509	2,081	F	9	178,380	174,612	3,768	F	2	239,886
Planning	240,885	223,278	17,607	F	7	1,548,890	1,454,037	94,853	F	6	2,018,561
Building Services	44,610	55,016	10,406	U	23	430,240	413,119	17,121	F	4	555,570
Community, Culture & Recreation											
Administration	93,880	101,353	7,473	U	8	813,680	832,713	19,033	U	2	1,079,318
Major Events Expense	17,500	2,481	15,019	F	86	915,000	873,408	41,592	F	5	915,000
Community Events	7,500	12,290	4,790	U	64	166,000	159,215	6,785	F	4	216,000
Civic Functions	12,785	5,109	7,676	F	60	94,820	70,422	24,398	F	26	126,423
Donations	20,000	6,430	13,570	F	68	137,500	124,643	12,857	F	9	195,000
Fiesta	171,855	165,480	6,375	F	4	306,695	243,891	62,804	F	20	312,270
Safer City Program	4,375	1,662	2,713	F	62	28,495	27,907	588	F	2	36,789
Senior Citizens	36,495	47,629	11,134	U	31	332,380	323,189	9,191	F	3	440,841
Recreation & Facility Bookings	65,370	70,707	5,337	U	8	595,510	585,159	10,351	F	2	785,522
Halls & Public Buildings	39,240	51,448	12,208	U	31	370,055	402,653	32,598	U	9	489,643
Total Expense - Community, Culture & Recreation	469,000	464,588	4,412	F	1	3,760,135	3,643,202	116,933	F	3	4,596,806
Collier Park Retirement Complex											
Collier Park Village	171,585	161,440	10,145	F	6	1,470,850	1,470,604	246	F	0	1,926,332
Collier Park Hostel	0	0	0	F		0	0	0	F		0
Collier Park Community Centre	170	288	118	U	69	1,490	1,815	325	U	22	2,000
Total Expense - Collier Park Complex	171,755	161,728	10,027	F	6	1,472,340	1,472,419	79	U	0	1,928,332

CITY OF SOUTH PERTH
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (c)

Key Responsibility Areas	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	Total Budget
Health Services											
Administration	42,510	41,979	531	F	1	368,795	379,306	10,511	U	3	485,287
Infant Health Services	735	1,107	372	U	51	7,535	7,321	214	F	3	9,750
Preventative Services	10,000	4,300	5,700	F	57	58,500	45,242	13,258	F	23	63,500
Other Sanitation	0	0	0	F		0	0	0	F		0
Total Expense - Health Services	53,245	47,386	5,859	F	11	434,830	431,870	2,960	F	1	558,537
Total Expense - Health & Regulatory Services	53,245	47,386	5,859	F	11	434,830	431,870	2,960	F	1	558,537
Total Expense - Dir Develop & Community Service	1,002,085	972,504	29,581	F	3	7,824,815	7,589,258	235,557	F	3	9,897,692
TOTAL EXPENDITURE - ADMIN BUSINESS UNITS	1,897,535	1,805,333	92,202	F	5	16,297,210	15,691,738	605,472	F	4	21,233,826

DIRECTORATE - INFRASTRUCTURE SERVICES
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (d)

Key Responsibility Areas	MONTH					YEAR TO DATE					Total Budget
	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	
REVENUE											
Infrastructure Support											
Administration Revenue	0	0	0	U		0	0	0	U		0
Total Revenue - Infrastructure Support	0	0	0	U		0	0	0	U		0
City Environment											
Contributions	45,000	20,290	24,710	U	55	178,500	135,828	42,672	U	24	295,000
Nursery Revenue	0	0	0	U		130,000	134,603	4,603	F	4	158,000
Asset Control Revenue	23,000	24,786	1,786	F	8	139,410	125,461	13,950	U	10	139,410
Environmental Services Revenue	0	168	168	F		0	4,855	4,855	F		0
Total Revenue - City Environment	68,000	45,245	22,755	U	33	447,910	400,746	47,164	U	11	592,410
Engineering Infrastructure											
Design Office Revenue	0	0	0	U		0	0	0	U		0
Construction & Maintenance											
Road Grants	0	0	0	U		136,500	144,101	7,601	F	6	202,000
Contributions to Works	10,000	1,929	8,071	U	81	48,250	43,865	4,385	U	9	134,500
Reinstatement Revenue	2,500	0	2,500	U		2,500	6,092	3,592	F	144	12,500
Crossover Revenue	3,500	11,418	7,918	F	226	65,500	81,508	16,008	F	24	75,000
Asset Control Revenue	16,000	0	16,000	U		56,320	34,570	21,750	U	39	92,320
Other Revenue	0	0	0	U		0	0	0	U		0
Sub Total - Construction & Maint	32,000	13,348	18,652	U	58	309,070	310,136	1,066	F	0	516,320
Total Revenue - Engineering Infrastructure	32,000	13,348	18,652	U	58	309,070	310,136	1,066	F	0	516,320
Waste Management											
Refuse Collection	21,250	6,779	14,471	U	68	4,806,478	4,780,209	26,269	U	1	4,855,228
Recycling	2,250	851	1,399	U	62	1,329,482	1,336,105	6,623	F	0	1,336,232
Total Revenue - Waste Management	23,500	7,630	15,870	U	68	6,135,960	6,116,315	19,645	U	0	6,191,460
Collier Park Golf Course											
Collier Park Golf Course - Revenue	249,210	239,455	9,755	U	4	2,096,215	2,048,700	47,515	U	2	2,792,640
Total Revenue - Collier Park Golf Course	249,210	239,455	9,755	U	4	2,096,215	2,048,700	47,515	U	2	2,792,640
TOTAL REV - INFRASTRUCTURE SERVICES	372,710	305,677	67,033	U	18	8,989,155	8,875,897	113,258	U	1	10,092,830

DIRECTORATE - INFRASTRUCTURE SERVICES
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (d)

Key Responsibility Areas	MONTH					YEAR TO DATE					Total Budget
	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	
EXPENDITURE											
Infrastructure Support & Administration											
Governance Cost	26,755	17,679	9,076	F	34	268,980	210,673	58,307	F	22	372,999
Total Expense - Infrastructure Support	26,755	17,679	9,076	F	34	268,980	210,673	58,307	F	22	372,999
City Environment											
Reserves & Parks Maintenance	377,480	272,780	104,700	F	28	2,936,730	2,933,488	3,242	F	0	3,995,720
Miscellaneous Parks Programmes	2,500	0	2,500	F		22,500	9,291	13,209	F	59	30,000
Grounds Maintenance	14,270	8,926	5,344	F	37	149,040	118,869	30,171	F	20	192,000
Streetscape Maintenance	138,500	123,692	14,808	F	11	1,417,250	1,370,935	46,315	F	3	2,118,000
Environmental Services	50,450	77,761	27,311	U	54	385,330	433,094	47,764	U	12	608,631
Plant Nursery	22,180	26,997	4,817	U	22	191,380	211,325	19,945	U	10	269,380
Overheads	140,765	114,104	26,661	F	19	1,201,240	1,182,871	18,369	F	2	1,594,162
Asset Holding Costs	91,835	100,000	8,165	U	9	824,495	900,000	75,505	U	9	1,100,000
Building Maintenance	76,705	54,399	22,306	F	29	465,345	432,043	33,302	F	7	566,459
Reserve Building Maintenance & Operations	10,730	13,602	2,872	U	27	99,940	92,986	6,954	F	7	132,250
Public Convenience Maintenance & Operations	15,105	23,994	8,889	U	59	142,685	134,013	8,672	F	6	188,000
Operations Centre Maintenance	11,340	19,345	8,005	U	71	103,480	122,303	18,823	U	18	137,500
Jetty Maintenance	1,000	1,611	611	U	61	10,000	8,512	1,488	F	15	13,000
Total Expense - City Environment	952,860	837,212	115,648	F	12	7,949,415	7,949,730	315	U	0	10,945,102
Engineering Infrastructure											
Design Office Overheads	33,245	53,402	20,157	U	61	290,545	283,013	7,532	F	3	385,792
Sub Total - Design Office	33,245	53,402	20,157	U	61	290,545	283,013	7,532	F	3	385,792
Construction & Maintenance											
Reinstatements	2,000	0	2,000	F		19,000	29,078	10,078	U	53	25,000
Crossovers	8,500	8,399	101	F	1	89,500	88,345	1,155	F	1	115,000
Asset Holding Costs	408,335	438,345	30,010	U	7	3,676,995	3,945,102	268,107	U	7	4,902,000
Roads, Paths & Drains	291,250	254,884	36,366	F	12	2,137,250	2,067,330	69,920	F	3	2,899,000
Fleet Operations	83,180	65,724	17,456	F	21	676,870	674,672	2,198	F	0	851,359
Overheads	100,270	78,066	22,204	F	22	869,880	740,570	129,310	F	15	1,151,561
Sub Total - Construction & Maintenance	893,535	845,417	48,118	F	5	7,469,495	7,545,098	75,603	U	1	9,943,920
Total Expense - Engineering Infrastructure	926,780	898,819	27,961	F	3	7,760,040	7,828,111	68,071	U	1	10,329,712

DIRECTORATE - INFRASTRUCTURE SERVICES
2015/2016 - OPERATING REVENUE & EXPENDITURE
March-2016

Attachment 10.6.1 (d)

Key Responsibility Areas	MONTH					YEAR TO DATE					Total Budget
	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	
Waste Management											
Refuse Collection	353,785	324,061	29,724	F	8	3,344,990	3,306,896	38,094	F	1	4,506,413
Recycling	60,720	49,327	11,393	F	19	501,465	473,875	27,590	F	6	663,024
Transfer Station	60,045	66,706	6,661	U	11	535,295	675,431	140,136	U	26	709,661
Total Expense - Waste Management	474,550	440,094	34,456	F	7	4,381,750	4,456,201	74,451	U	2	5,879,098
Collier Park Golf Course											
Collier Park Golf Course - Expense	272,255	207,026	65,229	F	24	1,814,250	1,671,963	142,287	F	8	2,430,740
Total Expense - Collier Park Golf Course	272,255	207,026	65,229	F	24	1,814,250	1,671,963	142,287	F	8	2,430,740
TOTAL EXP - INFRASTRUCTURE SERVICES	2,653,200	2,400,831	252,369	F	10	22,174,435	22,116,680	57,755	F	0	29,957,651

CITY OF SOUTH PERTH
2015/2016 CAPITAL SUMMARY
March-2016

Attachment 10.6.1 (e)

Key Responsibility Areas	MONTH					YEAR TO DATE					Total Budget
	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	
CAPITAL REVENUE											
Chief Executive's Office											
Land Sales	1,486,363	1,486,364	1	F	0	3,086,363	3,060,808	25,555	U		3,626,363
Major Community Building Grants	0	0	0	U		0	0	0	U		0
Total Revenue - Chief Executive's Office	1,486,363	1,486,364	1	F	0	3,086,363	3,060,808	25,555	U	1	3,626,363
Directorate - Financial & Info Services											
Financial Services Capital	0	0	0	U		0	0	0	U		0
Total Revenue - Financial & Info Services	0	0	0	U		0	0	0	U		0
Directorate - Development & Community Services											
Collier Park Retirement Complex											
Collier Park Village	0	0	0	U		315,000	306,000	9,000	U	3	500,000
Collier Park Hostel	0	0	0	U		0	0	0	U		0
Total Revenue - Collier Park Retirement Complex	0	0	0	U		315,000	306,000	9,000	U	3	500,000
Total Revenue - Dir Development & Community	0	0	0	U		315,000	306,000	9,000	U	3	500,000
Collier Park Golf Course											
Collier Park Golf Course	0	0	0	U		0	0	0	U		0
Total Revenue - Collier Park Golf Course	0	0	0	U		0	0	0	U		0
Directorate - Infrastructure Services											
Roads, Paths & Drains	4,000	25,844	21,844	F	546	1,355,500	1,415,139	59,639	F	4	1,461,000
Traffic Management	0	0	0	U		0	0	0	U		0
City Environment	0	831	831	F		42,000	44,102	2,102	F	5	842,000
Building Management	0	0	0	U		0	0	0	U		1,600,000
Total Revenue - Dir Infrastructure Services	4,000	26,675	22,675	F	567	1,397,500	1,459,242	61,742	F	4	3,903,000
Underground Power											
Underground Power	0	0	0	U		0	340	340	F		0
Total Revenue - Underground Power	0	0	0	U		0	340	340	F		0
TOTAL CAPITAL REVENUE	1,490,363	1,513,038	22,675	F	2	4,798,863	4,826,389	27,526	F	1	8,029,363

CITY OF SOUTH PERTH
2015/2016 CAPITAL SUMMARY
March-2016

Attachment 10.6.1 (e)

Key Responsibility Areas	MONTH					YEAR TO DATE					Total Budget
	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	
CAPITAL EXPENDITURE											
Administration Projects											
Chief Executive's Office											
Administration	0	0	0	F		15,000	1,144	13,856	F	92	165,000
Ranger Services	0	0	0	F		10,000	0	10,000	F		80,000
Major Land & Building Initiatives	1,695,000	1,745,561	50,561	U		9,252,000	9,122,716	129,284	F		18,177,000
Total Expense - Chief Executive's Office	1,695,000	1,745,561	50,561	U	3	9,277,000	9,123,860	153,140	F	2	18,422,000
Directorate - Financial & Info Services											
Information Technology	140,000	62,510	77,491	F	55	724,000	357,106	366,894	F	51	1,322,000
Finance Capital Expense	0	0	0	F		0	0	0	F		0
Library Services											
General Capital Expense	0	0	0	F		0	0	0	F		0
Heritage Capital Expense	0	0	0	F		0	0	0	F		0
Total Expense - Library Services	0	0	0	F		0	0	0	F		0
Total Expense - Dir Financial Services	140,000	62,510	77,491	F	55	724,000	357,106	366,894	F	51	1,322,000
Unclassified Capital											
General Capital Expense	0	0	0	F		0	0	0	F		0
Total Expense - Unclassified Capital	0	0	0	F		0	0	0	F		0
Directorate - Development & Community Services											
Strategic Urban Planning	40,000	16,328	23,672	F	59	130,000	106,136	23,864	F	18	200,000
Community Culture & Recreation											
Community, Culture & Recreation	0	4,000	4,000	U		60,000	4,000	56,000	F	93	60,000
Total Expense - Community, Culture & Recreation	0	4,000	4,000	U		60,000	4,000	56,000	F	93	60,000
Collier Park Retirement Complex	30,000	28,345	1,655	F	6	270,000	250,753	19,247	F	7	325,000
Health & Regulatory Services											
Preventative Services	0	0	0	F		0	0	0	F		0
Total Expense - Health & Regulatory Services	0	0	0	F		0	0	0	F		0
Total Expense - Development & Community Services	70,000	48,674	21,327	F	30	460,000	360,889	99,111	F	22	585,000

CITY OF SOUTH PERTH
2015/2016 CAPITAL SUMMARY
March-2016

Key Responsibility Areas	MONTH					YEAR TO DATE					Total Budget
	Month Budget	Month Actual	Variance \$	Var F/U	Var %	YTD Budget	YTD Actual	Variance \$	Var F/U	Var %	
Collier Park Golf Course											
Collier Park Golf Course	22,225	22,225	0	U	0	407,065	415,415	8,350	U	2	474,289
Total Expense - Golf Course	22,225	22,225	0	U	0	407,065	415,415	8,350	U	2	474,289
Directorate - Infrastructure Services											
Roads, Paths & Drains											
Roadworks	25,000	304,491	279,491	U	1,118	2,332,000	1,339,434	992,566	F	43	3,422,800
Drainage	38,000	66,376	28,376	U	75	229,000	189,034	39,966	F	17	464,000
Water Management Initiatives	0	95	95	U		300,000	300,579	579	U	0	340,000
Paths	195,000	172,913	22,087	F	11	401,000	362,956	38,044	F	9	591,000
Other	65,000	80,857	15,857	U	24	190,000	120,773	69,227	F	36	240,000
Total - Roads, Paths & Drains	323,000	624,733	301,733	U	93	3,452,000	2,312,775	1,139,225	F	33	5,057,800
Traffic Management	112,500	103,449	9,051	F	8	614,500	403,333	211,167	F	34	1,099,500
Waste Management	36,250	72,636	36,386	U	100	154,650	189,074	34,424	U	22	193,400
City Environment											
Streetscape Projects	15,000	13,074	1,926	F	13	270,000	208,428	61,572	F	23	300,000
Park Development	175,000	194,374	19,374	U	11	863,000	632,812	230,188	F	27	2,748,000
Street & Reserve Lighting	70,000	14,228	55,772	F	80	90,000	47,102	42,898	F	48	150,000
Environmental Projects	112,000	48,763	63,237	F	56	431,500	118,962	312,538	F	72	616,500
Foreshore Asset Management	200,000	179,417	20,583	F	10	2,329,000	2,188,191	140,809	F	6	5,154,000
Total - City Environment	572,000	449,855	122,145	F	21	3,983,500	3,195,494	788,006	F	20	8,968,500
Recoverable Works	0	45,639	45,639	U		23,000	114,568	91,568	U	398	23,000
Building Management	90,000	64,954	25,046	F	28	406,000	267,245	138,755	F	34	829,000
Other Projects	0	119	119	U		50,000	1,071	48,929	F	98	50,000
Fleet Management	10,000	6,257	3,743	F	37	1,100,000	1,119,573	19,573	U	2	1,174,115
Sustainability	10,000	10,313	313	U	3	90,000	59,095	30,905	F	34	120,000
Total Expense - Dir Infrastructure Services	1,153,750	1,377,953	224,203	U	19	9,873,650	7,662,226	2,211,424	F	22	17,515,315
Underground Power											
Underground Power Project	0	0	0	F		0	0	0	F		0
Total - Underground Power	0	0	0	F		0	0	0	F		0
TOTAL CAPITAL EXPENDITURE	3,080,975	3,256,922	175,947	U	6	20,741,715	17,919,497	2,822,218	F	14	38,318,604

SCHEDULE OF SIGNIFICANT VARIANCES

Attachment 10.6.1 (f)

Details	Month Budget	Month Actual	Month Var %	F U	YTD Budget	YTD Actual	YTD Var %	F U	Comment on Variances disclosed in Management Accounts
<u>Revenue</u>									
Parking Management	153,100	147,131	4%	U	1,275,700	1,247,261	2%	U	Meter parking revenue is currently 2% below expectations and parking infringement revenue 5% below. The appointment of a dedicated parking officer is beginning to reverse the infringement shortfall (down from 8%).
Investment Revenue	253,975	209,962	17%	U	2,135,515	2,092,225	2%	U	Municipal fund investment revenue is 6% under revised budget whilst Reserve Fund interest revenue is 2% under the revised budget. Refer to Agenda Item 10.6.2 for more detailed comment.
Rating Activities	16,000	18,383	15%	F	33,461,751	33,490,598	0%	F	Interest and collection costs recovered are both well ahead of budget. Refer to Agenda Item 10.6.2 for more detailed comment.
Planning Revenue	75,000	62,152	17%	U	630,100	689,321	13%	F	The year to date favourable variance relates to planning fees for JDAP applications.
Building Services Revenue	42,530	19,453	54%	U	398,255	448,476	13%	F	Reversal of earlier timing difference.
Hiesta Revenue	50,000	25,120	50%	U	50,000	30,044	40%	U	Expected revenue has not been realised - resulting in a shortfall.
Hall Bookings	13,250	15,651	18%	F	153,750	154,824	1%	F	The monthly variance is the reversal of a previous timing difference.
CPV Revenue	93,540	91,664	2%	U	812,060	800,887	1%	U	Slightly less than budgeted interest revenue.
City Env - Contributions	45,000	20,290	55%	U	178,500	135,828	24%	U	No major event revenue this year. To be adjusted in Q3 Budget Review.
Crossover Revenue	3,500	11,418	226%	F	65,500	81,508	24%	F	Q3 Budget Review adjustment will be required.
Asset Control Revenue	16,000	0	-	U	56,320	34,570	39%	U	Deferred vehicle trade in.
Waste Management Rev	23,500	7,630	68%	U	6,135,960	6,116,315	0%	U	Reduction in number of services provided to grouped residential dwellings / residential towers & commercial premises.
Collier Park Golf Course	249,210	239,455	4%	U	2,096,215	1,809,246	2%	U	Close to budget expectations - green fees slightly unfavourable.
<u>Expenditure</u>									
Corporate Support	54,035	37,422	31%	F	556,805	511,513	8%	F	Savings on salary costs from vacant positions.
Building Operating Costs (after allocations outwards)	8,270	6,569	21%	F	73,440	61,115	17%	F	Less than anticipated utilities costs for year to date.

SCHEDULE OF SIGNIFICANT VARIANCES

Attachment 10.6.1 (f)

Details	Month Budget	Month Actual	Month Var %	F U	YTD Budget	YTD Actual	YTD Var %	F U	Comment on Variances disclosed in Management Accounts
Human Resources Admin (after allocations outwards)	19,105	12,236	36%	F	178,965	185,670	4%	U	Favourable variance on training costs offset by higher than budgeted staff costs - additional work associated with EBA and award translations.
Governance Admin	70,805	39,864	44%	F	651,810	559,736	14%	F	The favourable monthly variance reflects a timing difference on costs of consultants plus some vacant staff positions.
Elected Members	113,885	85,735	25%	F	1,148,955	1,068,573	7%	F	These largely relate to timing differences on legal costs and Councillor training which should reverse out in future months.
City Communications	45,570	63,434	39%	U	461,985	440,119	5%	F	Reversal of earlier timing difference on costs for Urban Walkabout.
Rangers Services	122,880	145,694	19%	U	1,153,095	1,177,916	2%	U	The use of casual/contract staff has incurred additional salaries costs.
Financial Services (after allocations outwards)	102,675	103,620	1%	U	1,169,280	1,069,535	9%	F	Favourable variance in relation to vacant positions in the Directorate Admin area plus several other small variances in relation to bank fees audit costs etc which may reverse out in future months.
Information Services (after allocations outwards)	100,950	78,326	22%	F	774,480	746,777	4%	F	Several favourable variances on consultancy and software licensing that will reverse out in future. Allocations outwards has been adjusted and is returning progressively to closer align with budget.
Customer Focus (after allocations outwards)	28,795	22,756	21%	F	237,135	222,808	6%	F	Savings against budgeted salaries and several other small variances on administrative costs.
Library Services	225,980	225,371	0%	F	1,932,695	1,929,202	0%	F	There are currently favourable variances on purchase of books, audio visual materials and journals which may reverse out in future months. Offsetting this, salaries are above budget and require remedial action.
Planning Services	240,885	223,278	7%	F	1,548,890	1,454,037	6%	F	Largely the YTD variance relates to a budget for heritage assessments that will not proceed in this year. Adjusted in the Q3 Budget Review.
Building Services	44,610	55,016	23%	U	430,240	413,119	4%	F	Some salary savings partly offset by additional cost for external assessors and an additional insurance premium adjustment.
Major Events Expense	17,500	2,481	86%	F	915,000	873,408	5%	F	Some small supplier invoices for Australia Day may still be outstanding.
Civic Functions	12,785	5,109	60%	F	94,820	70,422	26%	F	Some supplier invoices are outstanding.

SCHEDULE OF SIGNIFICANT VARIANCES

Attachment 10.6.1 (f)

Details	Month Budget	Month Actual	Month Var %	F U	YTD Budget	YTD Actual	YTD Var %	F U	Comment on Variances disclosed in Management Accounts
Donations	20,000	6,430	68%	F	137,500	124,643	9%	F	There has been less demand than anticipated for this program to date.
Fiesta	171,855	165,480	4%	F	306,695	243,891	20%	F	Some supplier invoices are outstanding for Fiesta.
Senior Citizens Centre	36,495	47,629	31%	U	332,380	323,189	3%	F	Monthly variance reflects higher cleaning costs and additional premium for workers compensation.
Recreation & Facilities	65,370	70,707	8%	U	595,510	585,159	2%	F	Reversal of earlier timing differences on salaries and cleaning costs.
Halls & Public Buildings	39,240	51,448	31%	U	370,055	402,653	9%	U	The YTD variance is due to higher (non-cash) depreciation expense.
Infrastructure Governance	26,755	17,679	34%	F	268,980	210,673	22%	F	This variance relates largely to the extended absence of an employee in a senior role.
Reserve & Park Maint.	377,480	272,780	28%	F	2,936,730	2,933,488	0%	F	The monthly variance is due to the reversal of an earlier timing difference on maintenance activities.
Grounds Maintenance	14,270	8,926	37%	F	149,040	118,869	20%	F	Partial reversal of earlier timing difference on some maintenance programs. Timing is not affecting quality.
Streetscape Maintenance	138,500	123,692	11%	F	1,417,250	1,370,935	3%	F	The favourable YTD variance reflects a minor timing variance on street tree pruning and traffic device maintenance program relative to budget.
Plant Nursery	22,180	26,997	22%	U	191,380	211,325	10%	U	The variance relates to additional temporary staff costs.
Environmental Services	50,450	77,761	54%	U	385,330	433,094	12%	U	The variance relates to a redundancy and additional temporary staff costs. The responsible manager is introducing remedial measures.
Overheads - City Env.	140,765	114,104	19%	F	1,201,240	1,182,871	2%	F	Since overhead rates were adjusted in December, this area is now tracking close to anticipated overhead recovery.
Asset Holding Costs	91,835	100,000	9%	U	824,495	900,000	9%	U	Minor variation on estimated depreciation after Fair Value was revised at year end. This is a non-cash item.
Building Maintenance Costs	114,880	111,341	3%	F	821,450	789,857	4%	F	There are a number of small timing differences as the maintenance program is implemented. These have been reversing in recent months.
Design Office Overheads	33,245	53,402	61%	U	290,545	283,013	3%	F	The monthly variance relates to higher than anticipated consultancy costs.

SCHEDULE OF SIGNIFICANT VARIANCES

Attachment 10.6.1 (f)

Details	Month Budget	Month Actual	Month var %	F U	YTD Budget	YTD Actual	YTD var %	F U	Comment on Variances disclosed in Management Accounts
Asset Holding Costs	408,335	438,345	7%	U	3,676,995	3,945,102	7%	U	Depreciation may need to be re-assessed in line with Fair Value assessments on drainage network. Can not be addressed until year end.
Roads, Paths & Drains	291,250	254,884	12%	F	2,137,250	2,067,330	3%	F	There are currently small variances on drain and sump maintenance activities but these are expected to reverse in future months.
Fleet Operations	83,180	65,724	21%	F	676,870	674,672	0%	F	Cash expenses are 8% under budget and non cash are 13% under budget. Recoveries against jobs are behind the YTD budget but overall, net fleet costs are close to budget after the December adjustment to recovery rates.
Eng Infrastructure Overheads	100,270	78,066	22%	F	869,880	740,570	15%	F	Several timing differences including salaries and carrying amounts for deferred asset trade-ins.
Waste Management	474,550	440,094	7%	F	4,381,750	4,456,201	2%	U	There is an unfavourable variance in relation to transfer station wages . There is also what appears to be a timing difference in relation to rubbish site charges - city officers are working with the contractor to resolve this.
Collier Park Golf Course	272,255	207,026	24%	F	1,814,250	1,671,963	8%	F	Timing difference on salaries and some maintenance activities that is expected to partially reverse out in later months.
<u>Capital Revenue</u>									
Profit on Land Sales	1,486,363	1,486,363	0%	F	3,086,363	3,060,808	1%	U	Ray St land and 1st parcel of Manning Commercial Land sold.
Road Grants	4,000	28,844	-	F	1,355,500	1,415,139	4%	F	Grant revenue is slightly ahead of budget expectations overall.
<u>Capital Expenditure</u>									
Major Land / Building Projects	1,695,000	1,745,561	3%	U	9,252,000	9,122,716	1%	F	Minor timing difference on the cash flows associated with the Manning Hub project.
Information Technology	140,000	62,510	55%	F	724,000	357,106	51%	F	Bulk of the expenditure will occur later in the last 3 months of the year. Most projects in progress but not yet billed.
Strategic Urban Planning	40,000	16,328	59%	F	130,000	106,136	18%	F	Timing difference on strategic projects.
Community, Culture & Rec.	0	4,000	-	U	60,000	4,000	93%	F	Timing difference on CSRFF funding but full budget wont be required.
Collier Park Village	30,000	28,345	6%	F	270,000	250,753	7%	F	Refurbishment costs close to budget expectations at this time.

SCHEDULE OF SIGNIFICANT VARIANCES

Attachment 10.6.1 (f)

Details	Month Budget	Month Actual	Month var %	F U	YTD Budget	YTD Actual	YTD var %	F U	Comment on Variances disclosed in Management Accounts
Roads, Paths & Drains	323,000	624,733	93%	U	3,452,000	2,312,775	33%	F	This variance is largely caused by a budget phasing timing issue on the South Tce & Welwyn Ave projects which are being undertaken in March and April with final invoicing in May.
Traffic Management	112,250	103,449	8%	F	614,500	403,333	34%	F	The bulk of the favourable variance relates to a delay in invoicing in relation to the completed Manning Rd - Ley St intersection works.
City Environment	572,000	449,855	21%	F	3,983,500	3,195,494	20%	F	Favourable variance relates to a budget phasing issue on James Miller Oval, delays in progressing the Cygnia Cove wetland works and tardy invoicing by contractors on the SJMP Promenade project.
Building Management	90,000	64,954	28%	F	406,000	267,245	34%	F	This variance relates to deferral of the Civic Centre refurbishment and also air conditioner replacement as both projects should necessarily run in parallel. Also the Operations Centre upgrade and perimeter alarm upgrade is contingent on completion of the perimeter fencing project.
Fleet Management	10,000	6,257	37%	F	1,100,000	1,119,573	2%	U	Program is largely completed.

**CITY OF SOUTH PERTH
SUMMARY OF BUDGET MOVEMENTS 2015/2016**

Attachment 10.6.1 (g)

Key Responsibility Areas	2014/2015 Amended	2015/2016		Variance		Budget Adjustment Details
		Adopted	Amended	F/U	%	
REVENUE						
Chief Executive's Office						
City Administration	0	0	16,500	✓		Reconciliation Schedule Items marked R1
Human Resources Admin Revenue	0	0	0			Reconciliation Schedule Items marked R2
Communication	0	0	0			Reconciliation Schedule Items marked R3
Governance	0	0	0			Reconciliation Schedule Items marked R4
Ranger Services	1,673,500	1,780,500	1,804,500	✓	1%	Reconciliation Schedule Items marked R18
Total Operating Revenue - Chief Executive's Office	1,673,500	1,780,500	1,821,000	✓	2%	
Directorate - Financial & Information Services						
Administration	26,000	0	22,000	✓		Reconciliation Schedule Items marked R10
Financial Services	3,788,644	3,537,672	3,509,672	✗	(1%)	Reconciliation Schedule Items marked R11
Rating Activities	31,927,500	33,416,251	33,516,251	✓	0%	Reconciliation Schedule Items marked R33
Property Management	409,385	375,000	375,000		0%	Reconciliation Schedule Items marked R12
Information Technology	14,250	0	0			Reconciliation Schedule Items marked R13
Customer Services Admin Revenue	0	0	0			Reconciliation Schedule Items marked R14
Library Services	33,120	31,250	31,250		0%	Reconciliation Schedule Items marked R6
Total Operating Revenue - Dir Financial Services	36,198,899	37,360,173	37,454,173	✓	0%	
Directorate - Development & Community Services						
Administration	0	0	0			Reconciliation Schedule Items marked R15
Health	104,500	96,500	130,000	✓	35%	Reconciliation Schedule Items marked R16
Planning	798,250	800,150	850,150	✓	6%	Reconciliation Schedule Items marked R19
Building Services	498,250	480,250	495,250	✓	3%	Reconciliation Schedule Items marked R20
Community Culture & Recreation	811,000	870,000	922,000	✓	6%	Reconciliation Schedule Items marked R5
Collier Park Village	1,014,250	1,071,193	1,071,193		0%	Reconciliation Schedule Items marked R7
Collier Park Hostel	0					Reconciliation Schedule Items marked R8
Total Operating Revenue - Dir Develop & Comm	3,226,250	3,318,093	3,468,593	✓	5%	
TOTAL ADMINISTRATION OPERATING REVENUE	41,098,649	42,458,766	42,743,766	✓	1%	

**CITY OF SOUTH PERTH
SUMMARY OF BUDGET MOVEMENTS 2015/2016**

Attachment 10.6.1 (g)

Key Responsibility Areas	2014/2015 Amended	2015/2016 Adopted	2015/2016 Amended	Variance F/U	%	Budget Adjustment Details
REVENUE						
Infrastructure Support						
Administration Revenue	18,000	0	0			Reconciliation Schedule Items marked R21
Total Operating Revenue - Infrastructure Support	18,000	0	0			
City Environment						
Contributions	335,000	270,000	295,000	✓	9%	Reconciliation Schedule Items marked R22
Nursery Revenue	165,000	158,000	158,000		0%	Reconciliation Schedule Items marked R23
Asset Control Revenue	110,040	129,410	139,410	✓	8%	Reconciliation Schedule Items marked R24
Environmental Services Revenue	0	0	0			Reconciliation Schedule Items marked R25
Total Operating Revenue - City Environment	610,040	557,410	592,410	✓	6%	
Golf Course						
Collier Park Golf Course	2,697,920	2,792,640	2,792,640		0%	Reconciliation Schedule Items marked R9
Total Operating Revenue - Golf Course	2,697,920	2,792,640	2,792,640		0%	
Engineering Infrastructure						
Design Office Revenue	16,000	0	0			Reconciliation Schedule Items marked R26
Construction & Maintenance						
Road Grants	417,900	218,000	202,000	✗	(7%)	Reconciliation Schedule Items marked R27
Contributions to Works	170,000	108,500	134,500	✓	24%	Reconciliation Schedule Items marked R28
Reinstatement Revenue	15,000	12,500	12,500		0%	Reconciliation Schedule Items marked R29
Crossover Revenue	70,000	40,000	75,000	✓	88%	Reconciliation Schedule Items marked R30
Asset Control Revenue	29,110	92,320	92,320		0%	Reconciliation Schedule Items marked R31
Other Revenue	7,500	0	0			Reconciliation Schedule Items marked R32
Waste Management	6,101,560	6,372,460	6,191,460	✗	(3%)	Reconciliation Schedule Items marked R17
Total Operating Revenue - Engineer Infrastructure	6,827,070	6,843,780	6,707,780	✗	(2%)	
TOTAL INFRASTRUCTURE SERVICES OP REVENUE	10,153,030	10,193,830	10,092,830	✗	(1%)	
TOTAL OPERATING REVENUE	51,251,679	52,652,596	52,836,596	✓	0%	

**CITY OF SOUTH PERTH
SUMMARY OF BUDGET MOVEMENTS 2015/2016**

Attachment 10.6.1 (g)

Key Responsibility Areas	2014/2015 Amended	2015/2016		Variance		Budget Adjustment Details	
		Adopted	Amended	F/U	%		
EXPENDITURE							
Chief Executive's Office							
City Administration	1,186,475	873,551	976,551	x	12%	Reconciliation Schedule Items marked	E1
Human Resources Administration (after allocation)	262,851	236,246	236,246		0%	Reconciliation Schedule Items marked	E2
Governance Admin	711,290	839,707	819,707	✓	(2%)	Reconciliation Schedule Items marked	E3
Elected Members	1,444,235	1,527,622	1,527,622		0%	Reconciliation Schedule Items marked	E4
City Communications	485,778	554,799	594,799	x	7%	Reconciliation Schedule Items marked	E5
Publications	131,000	177,500	177,500		0%	Reconciliation Schedule Items marked	E6
Ranger Services	1,350,628	1,476,865	1,511,864	x	2%	Reconciliation Schedule Items marked	E28
Total Operating Expense - Chief Executive's Office	5,572,257	5,686,290	5,844,289	x	3%		
Director Financial & Information Services							
Administration (after allocations out)	300,018	332,240	334,240	x	1%	Reconciliation Schedule Items marked	E18
Financial Services (after allocations outwards)	1,107,579	1,176,747	1,156,747	✓	(2%)	Reconciliation Schedule Items marked	E19
Property Management	1,273,428	164,000	164,000		0%	Reconciliation Schedule Items marked	E20
Information Technology (after allocations out)	912,759	943,151	943,151		0%	Reconciliation Schedule Items marked	E21
Customer Services Team	245,328	311,296	335,296	x	8%	Reconciliation Schedule Items marked	E22
Library Services	2,452,730	2,568,411	2,558,411	✓	(0%)	Reconciliation Schedule Items marked	E13
Total Operating Expense - Dir Financial Services	6,291,842	5,495,845	5,491,845	✓	(0%)		
Directorate - Development & Community Services							
Administration	231,508	239,886	239,886		0%	Reconciliation Schedule Items marked	E23
Planning	1,741,289	1,885,061	2,018,561	x	7%	Reconciliation Schedule Items marked	E24
Building Services	511,564	515,570	555,570	x	8%	Reconciliation Schedule Items marked	E25
Health	485,045	546,537	558,537	x	2%	Reconciliation Schedule Items marked	E26
Community Culture & Recreation Admin	991,802	1,079,318	1,079,318		0%	Reconciliation Schedule Items marked	E7
Cultural Activities	1,710,318	1,709,693	1,754,693	x	3%	Reconciliation Schedule Items marked	E8
Safer City Program	43,134	36,789	36,789		0%	Reconciliation Schedule Items marked	E9
Senior Citizens	436,525	440,841	440,841		0%	Reconciliation Schedule Items marked	E10
Recreation	744,610	791,522	785,522	✓	(1%)	Reconciliation Schedule Items marked	E11
Halls & Public Buildings	470,518	489,643	489,643		0%	Reconciliation Schedule Items marked	E12
Collier Park Village	1,884,918	1,926,332	1,926,332		0%	Reconciliation Schedule Items marked	E14
Collier Park Hostel	0	0	0			Reconciliation Schedule Items marked	E15

**CITY OF SOUTH PERTH
SUMMARY OF BUDGET MOVEMENTS 2015/2016**

Attachment 10.6.1 (g)

Key Responsibility Areas	2014/2015 Amended	2015/2016		Variance		Budget Adjustment Details
		Adopted	Amended	F/U	%	
Collier Park Community Centre	1,000	2,000	2,000		0%	Reconciliation Schedule Items marked E16
Total Operating Expense - Dir Develop & Comm	9,252,231	9,663,192	9,887,692	x	2%	
TOTAL ADMINISTRATION OPERATING EXPENDITURE	21,116,330	20,845,327	21,223,826	x	2%	
Infrastructure Support & Administration						
Governance Cost (after allocations outwards)	312,506	363,000	372,999	x	3%	Reconciliation Schedule Items marked E29
Total Operating Expense - Infrastructure Support	312,506	363,000	372,999	x	3%	
City Environment						
Reserves & Parks Maintenance	3,976,638	3,995,720	3,995,720		0%	Reconciliation Schedule Items marked E30
Miscellaneous Parks Programmes	30,000	30,000	30,000		0%	Reconciliation Schedule Items marked E31
Grounds Maintenance	247,000	202,000	192,000	✓	(5%)	Reconciliation Schedule Items marked E32
Streetscape Maintenance	1,870,000	2,118,000	2,118,000		0%	Reconciliation Schedule Items marked E33
Environmental Services	610,006	608,631	608,631		0%	Reconciliation Schedule Items marked E34
Plant Nursery	234,575	269,380	269,380		0%	Reconciliation Schedule Items marked E35
Overheads	1,099,357	1,594,162	1,594,162		0%	Reconciliation Schedule Items marked E36
Asset Holding Costs	2,500,000	2,500,000	1,100,000	✓	(56%)	Reconciliation Schedule Items marked E37
Building Maintenance	620,406	521,459	566,459	x	9%	Reconciliation Schedule Items marked E38
Reserve Building Maintenance & Operations	134,750	132,250	132,250		0%	Reconciliation Schedule Items marked E39
Public Convenience Maintenance & Operations	192,000	188,000	188,000		0%	Reconciliation Schedule Items marked E40
Depot Maintenance	134,000	137,500	137,500		0%	Reconciliation Schedule Items marked E41
Jetty Maintenance	20,000	13,000	13,000		0%	Reconciliation Schedule Items marked E42
Total Operating Expense - City Environment	11,668,732	12,310,102	10,945,102	✓	(11%)	
Golf Course						
Collier Park Golf Course	2,324,808	2,430,740	2,430,740		0%	Reconciliation Schedule Items marked E17
Total Operating Expense - CPGC	2,324,808	2,430,740	2,430,740			

**CITY OF SOUTH PERTH
SUMMARY OF BUDGET MOVEMENTS 2015/2016**

Key Responsibility Areas	2014/2015 Amended	2015/2016		Variance		Budget Adjustment Details
		Adopted	Amended	F/U	%	
Engineering Infrastructure						
Design Office Overheads (after allocations outwards)	357,797	385,793	385,793		0%	Reconciliation Schedule Items marked E43
Sub Total - Design Office	357,797	385,793	385,793		0%	
Construction & Maintenance						
Reinstatements	45,000	25,000	25,000		0%	Reconciliation Schedule Items marked E44
Crossovers	100,000	100,000	115,000	x	15%	Reconciliation Schedule Items marked E45
Asset Control	4,885,000	4,902,000	4,902,000		0%	Reconciliation Schedule Items marked E46
Roads Footpaths & Drains	2,835,500	2,886,000	2,899,000	x	0%	Reconciliation Schedule Items marked E47
Fleet Operations	651,570	841,360	851,360	x	1%	Reconciliation Schedule Items marked E48
Overheads	972,473	1,151,561	1,151,561		0%	Reconciliation Schedule Items marked E49
Waste Management	5,716,517	5,969,098	5,879,096	✓	(2%)	Reconciliation Schedule Items marked E27
Total Operating Expense - Engineer Infrastructure	15,563,857	16,260,812	16,208,810	✓	(0%)	
TOTAL OPERATING EXPENSE - INFRASTRUCTURE	29,869,903	31,364,654	29,957,651	✓	(4%)	
TOTAL OPERATING EXPENDITURE	50,986,233	52,209,981	51,181,477	✓	(2%)	
CAPITAL REVENUE						
Directorate - CEO Office						
Capital Revenue	24,450,000	5,226,015	5,346,015	x	2%	Reconciliation Schedule Items marked CR1
Total Revenue - CEO Office	24,450,000	5,226,015	5,346,015			
Directorate - Finance & Information Services						
Capital Revenue	103,500	0	0			Reconciliation Schedule Items marked CR2
Directorate - Development & Community Services						
Collier Park Village	400,000	500,000	500,000		0%	Reconciliation Schedule Items marked CR3
Total Revenue - Dir Develop & Community Services	400,000	500,000	500,000			
Directorate - Infrastructure Services						
Roads, Drains & Streets	342,500	1,585,000	1,461,000	x	(8%)	Reconciliation Schedule Items marked CR6
City Environment	727,000	0	842,000	✓		Reconciliation Schedule Items marked CR8
Building Management	130,000	1,600,000	1,600,000		0%	Reconciliation Schedule Items marked CR9
Underground Power	0	0	0			Reconciliation Schedule Items marked CR10
Total Revenue - Dir Infrastructure Services	1,199,500	3,185,000	3,903,000	✓	23%	
TOTAL CAPITAL REVENUE	26,153,000	8,911,015	9,749,015	✓	9%	

**CITY OF SOUTH PERTH
SUMMARY OF BUDGET MOVEMENTS 2015/2016**

Key Responsibility Areas	2014/2015 Amended	2015/2016		Variance		Budget Adjustment Details
		Adopted	Amended	F/U	%	
CAPITAL EXPENDITURE						
Chief Executive's Office						
Administration	15,000	165,000	165,000		0%	Reconciliation Schedule Items marked CX1
Rangers Services	685,000	80,000	80,000		0%	Reconciliation Schedule Items marked CX2
Major Land & Community Building Transactions	1,897,300	17,045,000	18,177,000	x	7%	Reconciliation Schedule Items marked CX30
Total Expense - Chief Executive's Office	2,597,300	17,290,000	18,422,000	x	7%	
Directorate - Financial & Information Services						
Information Technology	1,110,000	835,000	1,322,000		58%	Reconciliation Schedule Items marked CX3
Financial Services	0	0	0			Reconciliation Schedule Items marked CX4
Library Services	0	0	0			Reconciliation Schedule Items marked CX6
Total Expense - Dir Financial & Info Services	1,110,000	835,000	1,322,000	x	58%	
Directorate - Development & Community Services						
Strategic Urban Planning	125,000	200,000	200,000		0%	Reconciliation Schedule Items marked CX27
Health & Building Regulatory	0	0	0			Reconciliation Schedule Items marked CX28
Community, Culture & Recreation	195,000	60,000	60,000		0%	Reconciliation Schedule Items marked CX5
Collier Park Retirement Complex	325,000	325,000	325,000		0%	Reconciliation Schedule Items marked CX8
Total Expense - Dir Develop & Comm Services	645,000	585,000	585,000		0%	
Unclassified Capital						
General Capital Expense	0	0	0			Reconciliation Schedule Items marked CX11
Total Expense - Unclassified Capital	0	0	0			
Directorate - Infrastructure Services						
Roads, Drains & Streets						
Roadworks	2,102,000	2,718,000	3,422,800	x	26%	Reconciliation Schedule Items marked CX12
Drainage	512,700	900,000	464,000	✓	(48%)	Reconciliation Schedule Items marked CX13
Water Management Initiatives	305,000	40,000	340,000			Reconciliation Schedule Items marked CX29
Paths	450,000	565,000	591,000	x	5%	Reconciliation Schedule Items marked CX14
Other	220,000	115,000	240,000	x	109%	Reconciliation Schedule Items marked CX15
Total Exp - Roads, Drains & Streets	3,589,700	4,338,000	5,057,800	x		
Traffic Management	984,500	1,230,000	1,099,500	✓	(11%)	Reconciliation Schedule Items marked CX16
Waste Management	520,450	173,400	193,400	x	12%	Reconciliation Schedule Items marked CX9

**CITY OF SOUTH PERTH
SUMMARY OF BUDGET MOVEMENTS 2015/2016**

Attachment 10.6.1 (g)

Key Responsibility Areas	2014/2015 Amended	2015/2016		Variance		Budget Adjustment Details
		Adopted	Amended	F/U	%	
City Environment						
Streetscape Projects	380,000	300,000	300,000		0%	Reconciliation Schedule Items marked CX17
Park Development	695,500	1,810,000	2,748,000		52%	Reconciliation Schedule Items marked CX18
Street & Reserve Lighting	0	150,000	150,000		0%	Reconciliation Schedule Items marked CX19
Environmental Projects	489,000	355,000	616,500		74%	Reconciliation Schedule Items marked CX20
Foreshore Asset Management	4,045,000	4,050,000	5,154,000		27%	Reconciliation Schedule Items marked CX26
Other Projects	0	50,000	50,000		0%	Reconciliation Schedule Items marked CX21
Total Capital Expense - City Environment	5,609,500	6,715,000	9,018,500			
Collier Park Golf Course	421,115	474,289	474,289		0%	Reconciliation Schedule Items marked CX7
Recoverable Works	7,500	0	23,000			Reconciliation Schedule Items marked CX22
Building Management	928,000	710,000	829,000		17%	Reconciliation Schedule Items marked CX23
Fleet & Plant Management	1,312,900	1,054,115	1,174,115	x	11%	Reconciliation Schedule Items marked CX24
Asset Management	205,000	0	0			Reconciliation Schedule Items marked CX31
Sustainability	130,000	120,000	120,000		0%	Reconciliation Schedule Items marked CX32
Underground Power Project	0	0	0			Reconciliation Schedule Items marked CX25
Total Expense - Dir Infrastructure Services	13,708,665	14,814,804	17,989,604	x	21%	
TOTAL CAPITAL EXPENDITURE	18,060,965	33,524,804	38,318,604	x	14%	

2015/2016 BUDGET RECONCILIATION SCHEDULE - SHOWING MOVEMENTS BETWEEN ADOPTED AND AMENDED BUDGET

Attachment 10.6.1 (h)

Account No	Account Details	Fund	Month Approved	Agenda Item No	Adjustment Amount	Line Total Affected	Budget Impact
	Budget Closing Position - Est at Adoption (Including Carry Forward Funds)						6,776,610 (4,000,000)
3326.2810	Planning Legal Fees	Muni	Aug-15	15.1.1	130,000	E24	(130,000)
	Balance at Month End						2,646,610
7165.1500.30	Thelma St Cul-de-Sac at Canning Highway	Muni	Sep-15	10.5.1	75,000	CX16	(75,000)
	Balance at Month End						2,571,610
8845.5831	Manning Community Facility	Muni	Nov-15	10.6.4	437,000	CX30	(437,000)
8704.5831	Computer Network Enhancements	Muni	Nov-15	10.6.4	35,000	CX3	(35,000)
8761.5831	Server Room - Manning Hub	Muni	Nov-15	10.6.4	200,000	CX3	(200,000)
8718.5831	Web Development	Muni	Nov-15	10.6.4	25,000	CX3	(25,000)
8721.5831	Software Development	Muni	Nov-15	10.6.4	80,000	CX3	(80,000)
8758.5831	CRM Upgrade	Muni	Nov-15	10.6.4	30,000	CX3	(30,000)
8765.5831	Online DA Solution	Muni	Nov-15	10.6.4	50,000	CX3	(50,000)
8764.5831	Online Bookings	Muni	Nov-15	10.6.4	25,000	CX3	(25,000)
8767.5831	Rangers Mobility Solution	Muni	Nov-15	10.6.4	15,000	CX3	(15,000)
5573.1500.30	Renwick St (Sandgate - Canning)	Muni	Nov-15	10.6.4	125,000	CX12	(125,000)
5584.1500.30	Doneraille Park Wetland	Muni	Nov-15	10.6.4	103,000	CX29	(103,000)
5561.1500.30	Drainage Infrastructure - Catchment 40	Muni	Nov-15	10.6.4	132,000	CX29	(132,000)
5581.1500.30	Commercial Precinct Paving	Muni	Nov-15	10.6.4	26,000	CX14	(26,000)
5485.5831	SJMP Viewing Platform Repairs	Muni	Nov-15	10.6.4	125,000	CX15	(125,000)
8000.5831	Mobile Plant	Muni	Nov-15	10.6.4	425,000	CX24	(425,000)
7141.4719	LATM Planning & Forward Design	Muni	Nov-15	10.6.4	10,000	CX16	(10,000)
7145.1500.30	Area 9A & 9B Traffic Management	Muni	Nov-15	10.6.4	25,000	CX16	(25,000)
7148.4719	Mends St Upgrade Planning	Muni	Nov-15	10.6.4	22,500	CX16	(22,500)
7149.1500.30	Manning Rd - Ley St Intersection	Muni	Nov-15	10.6.4	187,000	CX16	(187,000)
7151.1500.30	Broome St Parking	Muni	Nov-15	10.6.4	16,000	CX16	(16,000)
7153.1500.30	Davilak - Edgecumbe Roundabout	Muni	Nov-15	10.6.4	157,000	CX16	(157,000)
5579.1500.30	Drainage Design Program	Muni	Nov-15	10.6.4	20,000	CX13	(20,000)
6092.2500.30	Playground Equipment Upgrades	Muni	Nov-15	10.6.4	55,000	CX18	(55,000)
6262.4719	Park Master Planning / Design	Muni	Nov-15	10.6.4	83000	CX18	(83,000)

2015/2016 BUDGET RECONCILIATION SCHEDULE - SHOWING MOVEMENTS BETWEEN ADOPTED AND AMENDED BUDGET

Attachment 10.6.1 (h)

Account No	Account Details	Fund	Month Approved	Agenda Item No	Adjustment Amount	Line Total Affected	Budget Impact
6302.2500.30	Cygnia Cove Environmental Work	Muni	Nov-15	10.6.4	100,000	CX20	(100,000)
6303.2500.30	Mt Henry Spit Weed Control	Muni	Nov-15	10.6.4	12,500	CX20	(12,500)
6304.2500.30	Salter Pt Restoration - Stage 2	Muni	Nov-15	10.6.4	48,750	CX20	(48,750)
6305.2500.30	Cloisters Foreshore Restoration	Muni	Nov-15	10.6.4	8,250	CX20	(8,250)
6257.2500.30	Western Foreshore Erosion Control	Muni	Nov-15	10.6.4	50,000	CX20	(50,000)
6301.1500.30	SJMP Promenade	Muni	Nov-15	10.6.4	880,000	CX26	(880,000)
6297.2500.30	Como Beach River Wall	Muni	Nov-15	10.6.4	19,000	CX26	(19,000)
8149.1500.30	Civic Centre Retaining Walls	Muni	Nov-15	10.6.4	48,000	CX23	(48,000)
8150.1500.30	Disability Access Ramps	Muni	Nov-15	10.6.4	71,000	CX23	(71,000)
8766.5831	Fleet Management Solution	Muni	Nov-15	10.6.4	10,000	CX24	(10,000)
5567.1500.30	Marsh Ave	Muni	Nov-15	10.6.4	10,000	CX12	(10,000)
5528.1500.30	Sulman Ave Drainage	Muni	Nov-15	10.6.4	4,000	CX13	(4,000)
8914.5831	Old Mill Precinct	Muni	Nov-15	10.6.4	15,000	CX30	(15,000)
8757.5831	Sharepoint Intranet Development	Muni	Nov-15	10.6.4	15,000	CX3	(15,000)
	Balance Excluding Q1 Review						2,871,610
1004.0102	General Purpose Grant Funding	Muni	Nov-15	10.6.5	40,000	R11	(40,000)
1103.0001	Rate Revenue	Muni	Nov-15	10.6.5	(25,000)	R33	25,000
1103.0002	Interim Rates	Muni	Nov-15	10.6.5	(50,000)	R33	50,000
3325.0499	Planning Misc Revenue	Muni	Nov-15	10.6.5	(25,000)	R19	25,000
3326.3806	Town Planning Scheme	Muni	Nov-15	10.6.5	13,500	E24	(13,500)
3134.0471	Building Material on Verge	Muni	Nov-15	10.6.5	(15,000)	R20	15,000
3216.0440	Asset Disposal Proceeds - Health	Muni	Nov-15	10.6.5	(13,000)	R16	13,000
2131.0108	Community Grant	Muni	Nov-15	10.6.5	(67,000)	R5	67,000
2136.4949	Kidsport Activities	Muni	Nov-15	10.6.5	45,000	E8	(45,000)
3135.2820	Building Services - Consultancy	Muni	Nov-15	10.6.5	40,000	E25	(40,000)
4028.2840	Infrastructure Admin Misc	Muni	Nov-15	10.6.5	2,500	E29	(2,500)
4500.0440	Asset Disposal Proceeds - Infrastructure	Muni	Nov-15	10.6.5	(10,000)	R24	10,000
4000.0103	Road Grant Revenue	Muni	Nov-15	10.6.5	16,000	R27	(16,000)
4033.0421	Contributions Revenue	Muni	Nov-15	10.6.5	(26,000)	R28	26,000
4990.1500.30	Bus Shelter Maintenance	Muni	Nov-15	10.6.5	13,000	E47	(13,000)
4991.0452	Crossover Revenue	Muni	Nov-15	10.6.5	(20,000)	R30	20,000

2015/2016 BUDGET RECONCILIATION SCHEDULE - SHOWING MOVEMENTS BETWEEN ADOPTED AND AMENDED BUDGET

Attachment 10.6.1 (h)

Account No	Account Details	Fund	Month Approved	Agenda Item No	Adjustment Amount	Line Total Affected	Budget Impact
5999.0104	Capital Grant Revenue - Roads	Muni	Nov-15	10.6.5	530,000	CR6	(530,000)
7155.1500.30	Hayman Rd / Thelma St Roundabout	Muni	Nov-15	10.6.5	(530,000)	CX16	530,000
5604.1500.30	Queen St Drainage Upgrade	Muni	Nov-15	10.6.5	(150,000)	CX13	150,000
5605.1500.30	GPT Installation	Muni	Nov-15	10.6.5	(75,000)	CX13	75,000
5606.1500.30	Melville Pde Drainage	Muni	Nov-15	10.6.5	(110,000)	CX13	110,000
5589.1500.30	Duckett Drive (Isabella - Conochie)	Muni	Nov-15	10.6.5	(140,000)	CX12	140,000
5599.4719	Traffic Modelling - Station Precinct	Muni	Nov-15	10.6.5	80,000	CX12	(80,000)
7141.4719	Integrated Transport Plan	Muni	Nov-15	10.6.5	(55,000)	CX16	55,000
5610.4719	Design Work - Mill Pt / Labouchere Rd	Muni	Nov-15	10.6.5	150,000	CX12	(150,000)
8717.5831	Digital Map Images	Muni	Nov-15	10.6.5	12,000	CX3	(12,000)
0207.2823	CPGC EOI Process	Muni	Nov-15	10.6.5	100,000	E1	(100,000)
6300.1500.30	SJMP River Wall	Muni	Nov-15	10.6.5	50,000	CX26	(50,000)
6301.1500.30	SJMP River Foreshore Promenade	Muni	Nov-15	10.6.5	130,000	CX26	(130,000)
2132.2849	Consultation Software License	Muni	Nov-15	10.6.5	20,000	E5	(20,000)
2211.2848	Rangers Accommodation Planning	Muni	Nov-15	10.6.5	30,000	E28	(30,000)
4470.4500.30	Maintenance - Public Art	Muni	Nov-15	10.6.5	10,000	E38	(10,000)
4308.4500.30	Maintenance - Animal Care Facility	Muni	Nov-15	10.6.5	10,000	E38	(10,000)
4309.4500.30	Maintenance - Rangers Office	Muni	Nov-15	10.6.5	5,000	E38	(5,000)
3216.0440	Asset Disposal Proceeds - Health	Muni	Nov-15	10.6.5	(13,000)	R16	13,000
8961.5831	EJ Oval Precinct Upgrade	Muni	Nov-15	10.6.5	640,000	CX30	(640,000)
9917.7802	Transfer to Muni Fund	Muni	Nov-15	10.6.5	640,000	TRANS	0
1045.9917	Transfer from Reserve	Muni	Nov-15	10.6.5	(640,000)	TRANS	640,000
8843.5831	Land Acquisition	Muni	Nov-15	10.6.5	520,000	CX30	(520,000)
8845.5831	Manning Hub	Muni	Nov-15	10.6.5	(520,000)	CX30	520,000
8703.5831	IT Acquisitions	Muni	Nov-15	10.6.5	70,000	CX3	(70,000)
8704.5831	Network Enhancements	Muni	Nov-15	10.6.5	(20,000)	CX3	20,000
8705.5831	Communication Equipment	Muni	Nov-15	10.6.5	50,000	CX3	(50,000)
8721.5831	Software Acquisition	Muni	Nov-15	10.6.5	(120,000)	CX3	120,000
8708.5831	EDMS System	Muni	Nov-15	10.6.5	(25,000)	CX3	25,000
8758.5831	CRM Workflow Development	Muni	Nov-15	10.6.5	(30,000)	CX3	30,000
8762.2820	IT Consultancy	Muni	Nov-15	10.6.5	75,000	CX3	(75,000)
2132.1901	Communications / Marketing Salaries	Muni	Nov-15	10.6.5	20,000	E5	(20,000)
3015.1901	Governance Salaries	Muni	Nov-15	10.6.5	(20,000)	E3	20,000

2015/2016 BUDGET RECONCILIATION SCHEDULE - SHOWING MOVEMENTS BETWEEN ADOPTED AND AMENDED BUDGET

Attachment 10.6.1 (h)

Account No	Account Details	Fund	Month Approved	Agenda Item No	Adjustment Amount	Line Total Affected	Budget Impact
4910.5915	Depreciation - Parks Assets	Muni	Nov-15	10.6.5	(1,400,000)	E37	0
3215.5850	Carrying Amount - Asset Sold	Muni	Nov-15	10.6.5	12,000	E26	0
4501.5850	Carrying Amount - Asset Sold	Muni	Nov-15	10.6.5	10,000	E48	0
Balance Sheet	Adjustment to Estimated Opening Position	Muni	Nov-15	10.6.5	1,276,193	-	(1,276,193)
	Balance at Month End						1,622,417
0206.0440	Proceeds on Sale of Asset - CEO Office	Muni	Feb-16	10.6.4	(16,500)	R1	16,500
2233.0440	Proceeds on Sale of Asset - Ranger Serv	Muni	Feb-16	10.6.4	(24,000)	R18	24,000
2209.4905	ESL - City Buildings	Muni	Feb-16	10.6.4	5,000	E28	(5,000)
0499.0440	Proceeds on Sale of Asset - DFIS	Muni	Feb-16	10.6.4	(22,000)	R10	22,000
1004.0102	General Grant Revenue	Muni	Feb-16	10.6.4	18,000	R11	(18,000)
1005.0499	Financial Services Misc Rev	Muni	Feb-16	10.6.4	(30,000)	R11	30,000
1103.0002	Interim Rates Revenue	Muni	Feb-16	10.6.4	(50,000)	R33	50,000
1103.0006	Property Enquiries	Muni	Feb-16	10.6.4	25,000	R33	(25,000)
1006.2830	Bank Fees	Muni	Feb-16	10.6.4	(20,000)	E20	20,000
3325.0468	Planning Fees	Muni	Feb-16	10.6.4	(25,000)	R19	25,000
3326.2810	Planning Services Legal Fees	Muni	Feb-16	10.6.4	(10,000)	E24	10,000
3135.1901	Building Services Salaries	Muni	Feb-16	10.6.4	(20,000)	E25	20,000
3135.2820	Building Services Consultants	Muni	Feb-16	10.6.4	20,000	E25	(20,000)
3213.0461	Food Vendor Permits	Muni	Feb-16	10.6.4	(7,500)	R16	7,500
3213.0499	Food Shop Licences	Muni	Feb-16	10.6.4	(13,000)	R16	13,000
3216.0440	Proceeds on Sale of Asset - Environ Health	Muni	Feb-16	10.6.4	13,000	R16	(13,000)
2341.1710	Manning Library - Data Link	Muni	Feb-16	10.6.4	(10,000)	E13	10,000
2692.1710	GBLC - Data Link	Muni	Feb-16	10.6.4	(6,000)	E11	6,000
2611.0357	Hall Hire - Community Centre	Muni	Feb-16	10.6.4	15,000	R5	(15,000)
4028.2820	Infrastructure Services Admin - Consultants	Muni	Feb-16	10.6.4	7,500	E29	(7,500)
4030.1901	Infrastructure Design - Salaries	Muni	Feb-16	10.6.4	(30,000)	E43	30,000
4030.2820	Infrastructure Design - Consultants	Muni	Feb-16	10.6.4	30,000	E43	(30,000)
4034.0355	Casual Ground Hire	Muni	Feb-16	10.6.4	20,000	R22	(20,000)
4465.2500.30	Grounds Maintenance Old Mill	Muni	Feb-16	10.6.4	(10,000)	E32	10,000
4324.4500.30	Building Maintenance Old Mill	Muni	Feb-16	10.6.4	10,000	E38	(10,000)
4319.4500.30	Building Maintenance Bridge Club	Muni	Feb-16	10.6.4	10,000	E38	(10,000)

2015/2016 BUDGET RECONCILIATION SCHEDULE - SHOWING MOVEMENTS BETWEEN ADOPTED AND AMENDED BUDGET

Attachment 10.6.1 (h)

Account No	Account Details	Fund	Month Approved	Agenda Item No	Adjustment Amount	Line Total Affected	Budget Impact
4991.0452	Crossovers Revenue		Feb-16	10.6.4	(15,000)	R30	15,000
4992.1500.30	Crossovers Expense	Muni	Feb-16	10.6.4	15,000	E45	(15,000)
5998.0108	City Environment Capital Grants	Muni	Feb-16	10.6.4	(34,000)	CR8	34,000
6317.2500.30	Cygnia Cove Natural Area	Muni	Feb-16	10.6.4	42,000	CX20	(42,000)
5998.0108	City Environment Capital Grants	Muni	Feb-16	10.6.4	(8,000)	CR8	8,000
6999.7128.30	Recoverable Works - City Env	Muni	Feb-16	10.6.4	8,000	CX22	(8,000)
6999.7130.30	Recoverable Works - City Env	Muni	Feb-16	10.6.4	15,000	CX22	(15,000)
4034.0427	Contributions - Parks	Muni	Feb-16	10.6.4	(15,000)	R22	15,000
4034.0427	Contributions - Parks	Muni	Feb-16	10.6.4	(30,000)	R22	30,000
8839.0458	Profit - Disposal of Manning Land	Muni	Feb-16	10.6.4	(120,000)	CR1	120,000
8508.5831	Land Transaction Costs	Muni	Feb-16	10.6.4	65,000	CX30	(65,000)
5559.1500.30	Drainage - Catchment 32	Muni	Feb-16	10.6.4	(75,000)	CX13	75,000
5563.1500.30	Drainage - Catchment 36	Muni	Feb-16	10.6.4	(50,000)	CX13	50,000
7149.1500.30	Manning Rd / Ley St	Muni	Feb-16	10.6.4	25,000	CX16	(25,000)
5612.1500.30	King Edward St (Angelo - Hopetoun)	Muni	Feb-16	10.6.4	162,000	CX12	(162,000)
5999.0104	Capital Grants Revenue - Roads	Muni	Feb-16	10.6.4	(162,000)	CR6	162,000
5611.1500.30	McDougall St (Clydesdale - Lockhart)	Muni	Feb-16	10.6.4	144,000	CX12	(144,000)
5999.0104	Capital Grants Revenue - Roads	Muni	Feb-16	10.6.4	(144,000)	CR6	144,000
5613.1500.30	Talbot Ave (Henley - Cale)	Muni	Feb-16	10.6.4	150,000	CX12	(150,000)
5999.0104	Capital Grants Revenue - Roads	Muni	Feb-16	10.6.4	(100,000)	CR6	100,000
8766.5831	Fleet Management Solution	Muni	Feb-16	10.6.4	50,000	CX24	(50,000)
7145.1500.30	Area 9A & 9B Traffic Management	Muni	Feb-16	10.6.4	(25,000)	CX16	25,000
7151.1500.30	Broome St Parking	Muni	Feb-16	10.6.4	(16,000)	CX16	16,000
7153.1500.30	Davilak & Edgumbe St Roundabout	Muni	Feb-16	10.6.4	(147,000)	CX16	147,000
7166.1500.30	Mt Henry / Hope St Roundabout	Muni	Feb-16	10.6.4	180,000	CX16	(180,000)
7164.1500.30	Marsh Ave / Griffin Roundabout	Muni	Feb-16	10.6.4	(80,000)	CX16	80,000
7155.1500.30	Hayman Rd / Thelma St Roundabout	Muni	Feb-16	10.6.4	10,000	CX16	(10,000)
7141.4719	Integrated Transport Plan	Muni	Feb-16	10.6.4	15,000	CX16	(15,000)
5584.1500.30	Doneraille Wetland	Muni	Feb-16	10.6.4	65,000	CX29	(65,000)
6300.2500.30	SJMP Riverwall - Mends St	Muni	Feb-16	10.6.4	25,000	CX26	(25,000)
8843.5831	Land Purchase	Muni	Feb-16	10.6.4	(25,000)	CX30	25,000
3421.0251	Rubbish Service Charges	Muni	Feb-16	10.6.4	200,000	R17	(200,000)
3421.0440	Waste Proceeds on Sale of Asset	Muni	Feb-16	10.6.4	(9,000)	R17	9,000

2015/2016 BUDGET RECONCILIATION SCHEDULE - SHOWING MOVEMENTS BETWEEN ADOPTED AND AMENDED BUDGET

Attachment 10.6.1 (h)

Account No	Account Details	Fund	Month Approved	Agenda Item No	Adjustment Amount	Line Total Affected	Budget Impact
3451.0254	Sale of Recycled Materials	Muni	Feb-16	10.6.4	(10,000)	R17	10,000
3422.3933	Rivers Regional Council Membership Contrib	Muni	Feb-16	10.6.4	(10,000)	E27	10,000
3472.3931	Rubbish Site Charges	Muni	Feb-16	10.6.4	(40,000)	E27	40,000
3472.3932	Rubbish Removal - Cleanaway	Muni	Feb-16	10.6.4	(30,000)	E27	30,000
3482.3931	Verge Side - Rubbish Charges	Muni	Feb-16	10.6.4	150,000	E27	(150,000)
3482.3936	Verge Side - Rubbish Removal	Muni	Feb-16	10.6.4	50,000	E27	(50,000)
4901.3931	Street & Reserve Rubbish - Site Charges	Muni	Feb-16	10.6.4	7,500	E27	(7,500)
3452.3931	Recycling - Site Charges	Muni	Feb-16	10.6.4	(60,000)	E27	60,000
4222.3935.30	Waste Transport Costs	Muni	Feb-16	10.6.4	(157,500)	E27	157,500
8958.2500.30	Green Waste Tub Grinding	Muni	Feb-16	10.6.4	10,000	CX9	(10,000)
8964.2500.30	Transfer Station Re-Design	Muni	Feb-16	10.6.4	10,000	CX9	(10,000)
1044.9912	Transfer to Waste Reserve	Muni	Feb-16	10.6.4	(111,000)	TRANS	111,000
9912.7801	Transfer to Muni Fund	Muni	Feb-16	10.6.4	111,000	TRANS	0
2419.0201	CPV Maintenance Fees	Muni	Feb-16	10.6.4	20,000	R7	(20,000)
2419.0207	CPV Rental Income	Muni	Feb-16	10.6.4	(20,000)	R7	20,000
2420.2860	CPV General Insurance	Muni	Feb-16	10.6.4	(60,000)	E14	60,000
2420.3621	CPV Building Insurance	Muni	Feb-16	10.6.4	60,000	E14	(60,000)
8000.5831	Mobile Plant Acquisitions	Muni	Feb-16	10.6.4	(365,000)	CX24	365,000
1044.9901	Transfer to Plant Reserve	Muni	Feb-16	10.6.4	365,000	TRANS	(365,000)
9901.7801	Transfer from Muni Fund	Muni	Feb-16	10.6.4	(365,000)	TRANS	0
5597.1500.30	Parking Strategy Implementation	Muni	Feb-16	10.6.4	23,800	CX12	(23,800)
9922.7802	Transfer to Muni Fund	Muni	Feb-16	10.6.4	23,800	TRANS	0
1045.9922	Transfer from Parking Reserve	Muni	Feb-16	10.6.4	(23,800)	TRANS	23,800
5991.0108	SPLTC Capital Contribution	Muni	Feb-16	10.6.4	(800,000)	CR8	800,000
6318.2500.30	SP Tennis Club Capital Works	Muni	Feb-16	10.6.4	800,000	CX18	(800,000)
8703.5831	IT Acquisitions	Muni	Feb-16	10.6.4	35,000	CX3	(35,000)
8726.5831	Meeting Rooms Technology	Muni	Feb-16	10.6.4	20,000	CX3	(20,000)
8768.5831	Civic Hall AV Systems Upgrade	Muni	Feb-16	10.6.4	25,000	CX3	(25,000)
8763.5831	Unified Communications Project	Muni	Feb-16	10.6.4	(25,000)	CX3	25,000
8708.5831	EDMS System Upgrade	Muni	Feb-16	10.6.4	(15,000)	CX3	15,000
8767.5831	Rangers Mobility Solution	Muni	Feb-16	10.6.4	(15,000)	CX3	15,000
8762.2820	IT Projects Consultancy	Muni	Feb-16	10.6.4	(25,000)	CX3	25,000
0207.5850	Carrying Amt Sale of Asset CEO Office	Muni	Feb-16	10.6.4	3,000	E1	0

Attachment 10.6.1 (h)

[illegible]

**CITY OF SOUTH PERTH
RATE SETTING STATEMENT
FOR THE PERIOD ENDED 31 MAR 2016**

Attachment 10.6.1(i)

	ORIGINAL BUDGET \$	2016 ACTUAL YTD \$	2016 REVISED BUDGET \$
REVENUE (Excluding Rates)			
General Purpose Funding	4,079,672	3,011,641	3,996,672
Governance	75,000	102,625	105,000
Law, Order & Public Safety	103,000	98,987	103,000
Education	0	0	0
Health	95,500	121,774	116,000
Welfare	0	0	0
Housing	1,570,593	1,110,205	1,570,593
Community Amenities	7,161,550	6,792,100	7,021,550
Recreation & Culture	4,280,950	3,271,336	4,357,950
Transport	1,948,000	1,600,454	2,077,000
Economic Services	620,250	583,079	635,250
Other Property & Services	108,500	43,865	134,500
Net Operating Revenue Excluding Rates	20,043,015	16,736,065	20,117,515
OPERATING EXPENDITURE			
General Purpose Funding	(797,004)	(477,544)	(797,004)
Governance	(6,576,028)	(4,775,948)	(7,229,028)
Law, Order & Public Safety	(779,457)	(663,139)	(839,457)
Education	(70,500)	(48,733)	(70,500)
Health	(559,037)	(422,999)	(559,037)
Welfare	(510,841)	(368,899)	(510,841)
Housing	(2,251,707)	(1,721,740)	(2,251,707)
Community Amenities	(8,877,960)	(6,723,841)	(9,559,960)
Recreation & Culture	(18,930,135)	(13,214,569)	(17,862,135)
Transport	(13,448,573)	(9,881,488)	(14,194,073)
Economic Services	(773,070)	(624,444)	(813,070)
Other Property & Services	(329,928)	(598,576)	(617,928)
Net Operating Expense	(53,904,240)	(39,521,919)	(55,304,740)
Net Operating Result - Excluding Rates	(33,861,225)	(22,785,854)	(35,187,225)
Adjust for Cash Budget Requirements (Non Cash Items)			
Depreciation of Assets	10,395,250	7,084,252	8,995,250
Amortisation Expense	48,000	55,523	72,000
Movement in Assets Held for Sale	0	(2,180,348)	0
Movement in Employee Benefit Provisions (N/C)	0	0	0
Movement in CPV Liability	750,000	(187,575)	750,000
Movement in Deferred Pensioner Rates Debtors	25,000	37,552	25,000
Reclassify Assets Held for Sale to Non Current	0	134,792	0
Movement in Non Current Investments	0	0	0
Movement in Other Non Current Accruals	(29,697)	45,032	0
Net Non Cash Items	11,188,553	4,989,228	9,842,250

Figures contained on this statement necessarily include accounting estimates and accruals

**CITY OF SOUTH PERTH
RATE SETTING STATEMENT
FOR THE PERIOD ENDED 31 MAR 2016**

Attachment 10.6.1(i)

	ORIGINAL BUDGET \$	2016 ACTUAL YTD \$	2016 REVISED BUDGET \$
CAPITAL EXPENDITURE			
Acquisition of Fixed Assets			
Purchase of Buildings & Land	(17,200,000)	(8,961,526)	(17,477,000)
Purchase of Furniture & Fittings	(545,000)	(1,144)	(15,000)
Purchase of Technology	(417,000)	(210,498)	(750,000)
Purchase of Plant & Equipment	(183,400)	(67,347)	(205,000)
Purchase of Mobile Plant	(1,264,415)	(1,374,950)	(1,212,515)
Construction of Infrastructure Assets	(11,591,000)	(5,453,601)	(13,673,800)
Purchase of Artworks	(120,000)	0	(705,300)
Incomplete / Uncapitalised Works	(4,000,000)	0	0
Acquisition of Software	(370,000)	0	0
	(35,690,815)	(16,069,065)	(34,038,615)
Repayment of Loans			
Loan Principal Repayments	(1,278,611)	(913,501)	(1,278,611)
Self Supporting Loan Advanced	0	0	0
	(36,969,426)	(16,982,566)	(35,317,226)
Capital Revenues			
Proceeds from Disposal of Land	5,255,712	1,574,444	3,626,363
Proceeds from Asset Disposals	328,330	343,413	422,830
Cash Deposit Received - Deferred Land Sale	565,356	565,356	565,356
Grants for the Acquisition of Assets	3,185,000	1,300,205	3,793,000
Proceeds of New Loans	5,000,000	0	5,000,000
Self Supporting Loan Principal Recouped	263,326	253,119	263,326
	14,597,724	4,036,537	13,670,875
Reserve Transfers			
Transfers to Reserves	(14,534,793)	(10,228,062)	(13,069,141)
Transfers from Reserves	20,931,744	15,849,266	21,595,544
	6,396,951	5,621,204	8,526,403
Add			
Opening Position Surplus (Deficit)	8,642,782	7,366,589	7,366,589
Less			
Closing Position (Surplus) Deficit	(2,776,610)	(15,150,849)	(1,807,917)
AMOUNT TO BE MADE UP FROM RATES	(32,781,251)	(32,905,712)	(32,906,251)

Figures contained on this statement necessarily include accounting estimates and accruals

**CITY OF SOUTH PERTH
RATE SETTING STATEMENT
FOR THE PERIOD ENDED 31 MAR 2016**

Attachment 10.6.1(i)

	ORIGINAL BUDGET \$	2016 ACTUAL YTD \$	2016 REVISED BUDGET \$
COMPOSITION OF CLOSING POSITION			
Current Assets			
Cash & Cash Equivalents - Unrestricted	7,058,943	19,268,419	6,090,250
Cash & Cash Equivalents - Restricted	52,932,090	53,707,838	50,802,638
Trade & Other Receivables			
Rates	196,509	1,054,936	196,509
Sundry Debtors	150,204	599,321	150,204
Infringement Debtors	370,400	434,086	370,400
GST Debtors	948,863	305,743	948,863
Pension Rebate Receivable	18,262	447,120	18,262
UGP Debtors	0	18,109	0
ESL Debtors - Year end only	56,006	0	56,006
Self Supporting Loan Debtors	275,256	10,207	275,256
Provision for Doubtful Debts	(199,436)	(194,939)	(199,436)
Inventories	136,238	214,434	136,238
Inventories - Assets Held for Sale	0	0	0
Accrued Interest	539,858	404,035	539,858
Prepayments	446,015	598,492	446,015
Sub Total	62,929,208	76,867,801	59,831,063
Exclude:			
Inventories - Land Held for Resale	0	0	0
Self Supporting Loan Debtors	(275,256)	(10,207)	(275,256)
	62,653,952	76,857,594	59,555,807
Current Liabilities			
Trade & Other Payables			
Accounts Payable	2,285,828	4,106,690	2,285,828
Income in Advance	93,373	2,054	93,373
Accrued Wages	477,224	163,989	477,224
Accrued Interest Expense	35,310	0	35,310
Interest Bearing Liabilities	1,388,389	236,358	1,388,389
Employee Provisions - Annual Leave	2,065,683	1,997,467	2,065,683
Employee Provisions - Long Service Leave	1,987,834	1,728,707	1,987,834
Sub Total	8,333,641	8,235,265	8,333,641
Exclude			
Borrowings	(1,388,389)	(236,358)	(1,388,389)
Liabilities Associated with Restricted Assets	0		0
	6,945,252	7,998,907	6,945,252
(Adjusted) Net Current Assets	55,708,700	68,858,687	52,610,555
Calculation of Net Current Assets			
(Adjusted) Net Current Assets	55,708,700	68,858,687	52,610,555
Less			
Restricted Cash - Reserves	(52,932,090)	(53,707,838)	(50,802,638)
SURPLUS (DEFICIT)	2,776,610	15,150,849	1,807,917

Figures contained on this statement necessarily include accounting estimates and accruals

**STATEMENT of ALL COUNCIL FUNDS
AS AT 31 MAR 2016**

Municipal Fund	\$ 22,274,761
Investments	20,490,660
Current Account at Bank	1,780,716
Cash on Hand	3,385
Transfers from Reserves	0
	<u>22,274,761</u>
Trust Fund (Non Controlled Funds)	\$ 869,233
Investments	525,000
Current Account at Bank	344,233
	<u>869,233</u>
Cash Backed Reserves	\$ 53,707,838
Discretionary Reserves	
Plant Replacement Reserve	576,322
Reticulation and Pump Reserve	342,243
Information Technology Reserve	1,008,109
Insurance Risk Reserve	371,568
Major Community Facilities Reserve	20,540,506
Underground Power Reserve	105,914
Parking Facilities Reserve	337,228
River Wall Reserve	161,598
Railway Station Precincts Reserve	752,127
Sustainable Infrastructure Reserve	2,988,912
Public Art Reserve	101,628
Quarantined Reserves	
CPV Residents Loan Offset Reserve	21,171,761
Collier Park Golf Course Reserve	483,697
Waste Management Reserve	3,557,880
Collier Park Village Reserve	1,208,345
Reserves represented by:	
Investments	53,354,830
Accrued Interest	353,007
Transfers from Muni to be funded	0
	<u>53,707,838</u>
TOTAL COUNCIL FUNDS	\$ 76,851,831

SUMMARY OF CASH INVESTMENTS AS AT 31 MAR 2016

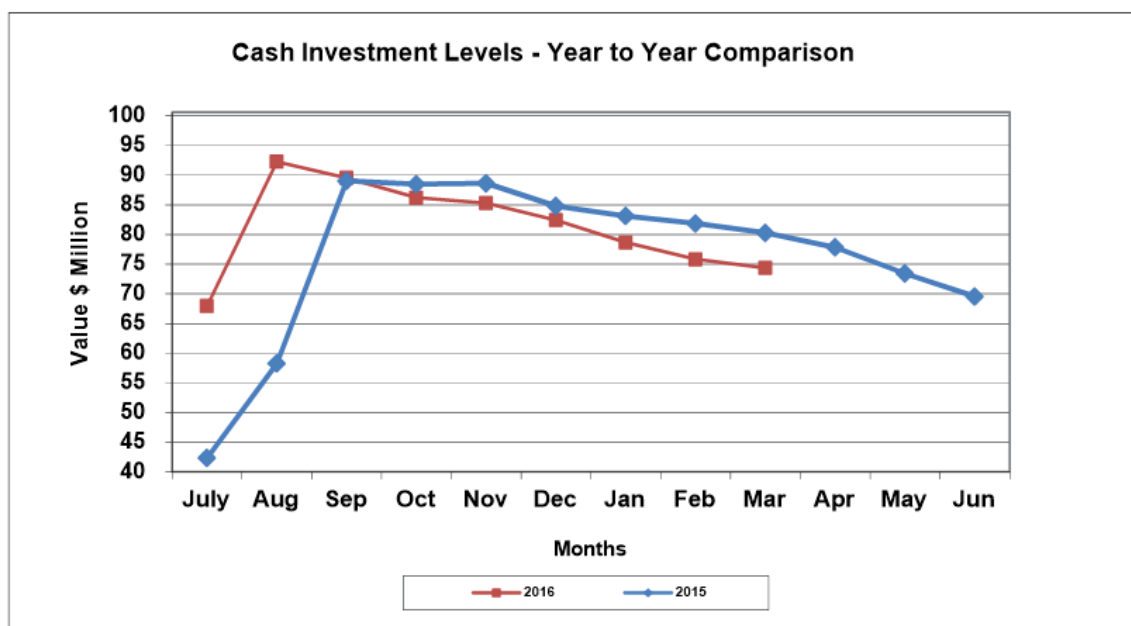
Investments - Disclosed by Fund	2016	%
Municipal	20,490,660	27.55%
Restricted - Trust	525,000	0.71%
Reserves	53,354,830	71.74%
	74,370,490	100.00%

Investments - Disclosed by Financial Institution	\$	%
Bankwest	10,527,877	14.16%
Commonwealth Bank	12,964,667	17.43%
ANZ Bank	10,736,191	14.44%
Westpac	-	0.00%
St George Bank	6,508,055	8.75%
Suncorp Metway Bank	14,512,375	19.51%
National Australia Bank	11,561,074	15.55%
Bank of Queensland	7,560,251	10.17%
	74,370,490	100.00%

Interest Earned on Investments for Year to Date	2016	2015
Municipal Fund	465,670	469,490
Reserves	1,255,703	1,297,019
	1,721,373	1,766,509

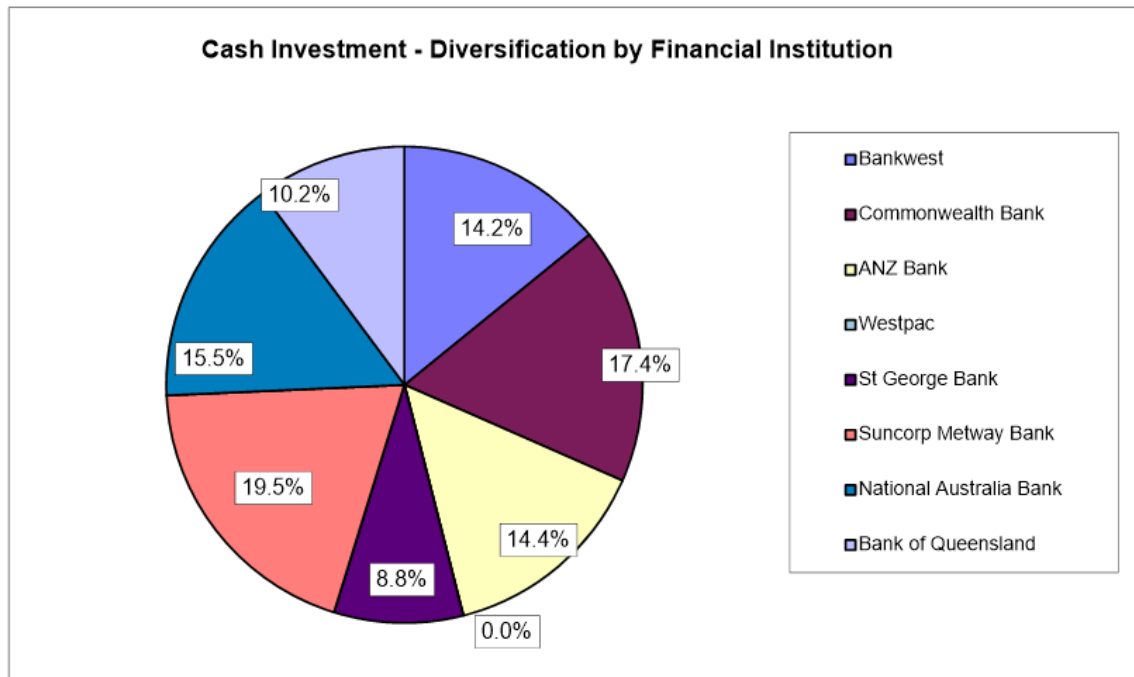
The anticipated weighted average yield on funds currently invested is 2.92%

Cash Investment Levels

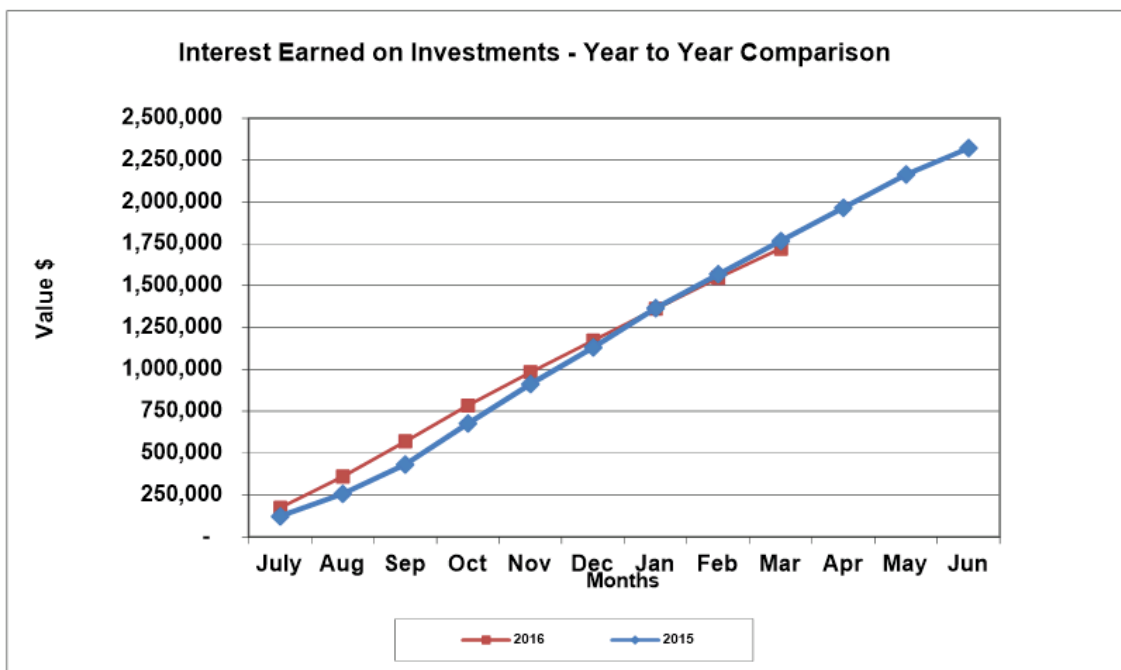


SUMMARY OF CASH INVESTMENTS AS AT 31 MAR 2016

Investments - Disclosed by Institution



Interest Earned on Investments



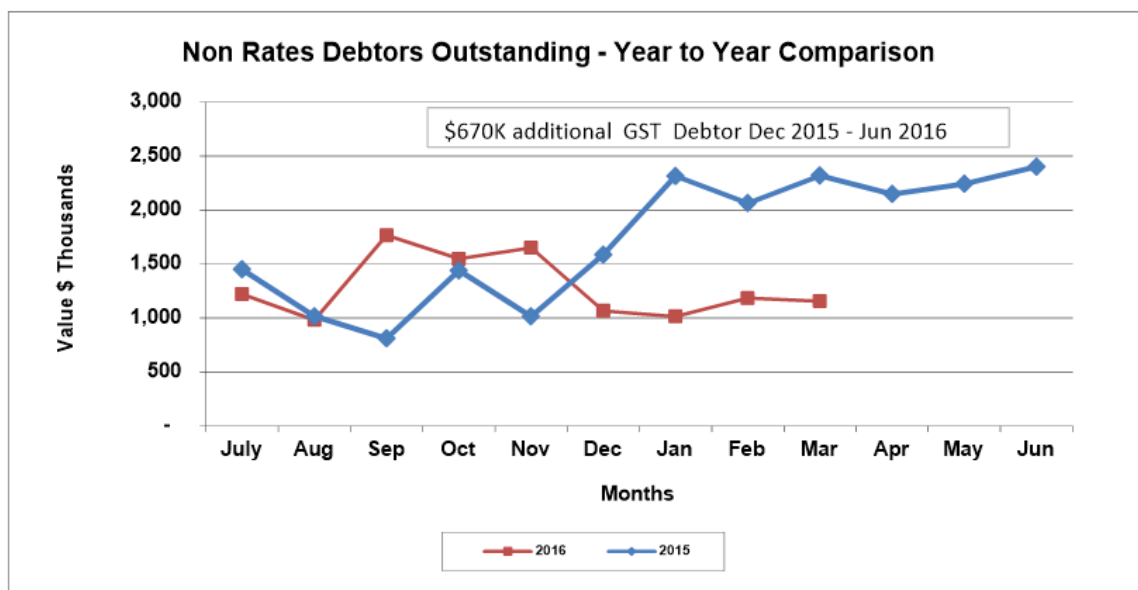
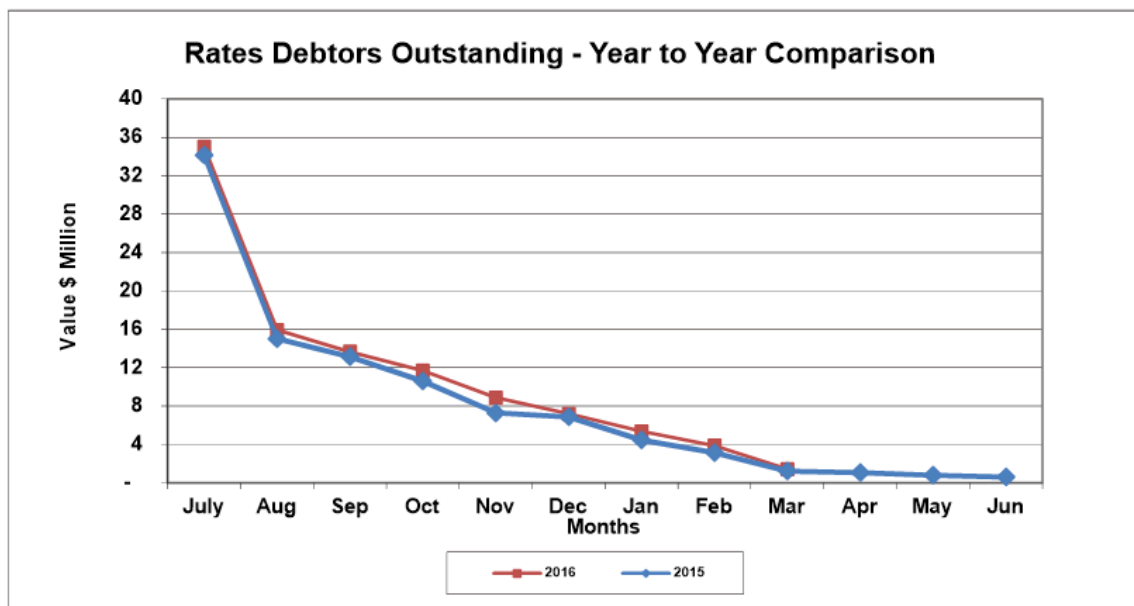
**STATEMENT OF MAJOR DEBTOR CATEGORIES
AS AT 31 MAR 2016**

Rates Debtors Outstanding

	2016	2015
Outstanding - Current Year & Arrears	1,054,936	874,929
Pensioner Deferrals	369,974	359,061
	1,424,910	1,233,990

Rates Outstanding as a percentage of Rates Levied

	2016	2015
Percentage of Rates Uncollected at Month End	3.69%	3.34%
(Nil Instalment remaining)		



Payment Listing
Payments between
1/03/2016 to 31/03/2016



Print Date and time: 14/04/2016 7:06:31PM

Cancelled

Reference No.	Date	Creditor	Payee	Description	Amount
1678.202090-01	22/03/2016	202090	Pedrin Painting	***** CANCELLED *****	\$13,628.50
1682.207754-01	31/03/2016	207754	Hayley J Thompson	***** CANCELLED *****	\$1,100.00
1671.207295-01	08/03/2016	207295	Riverside Christian Football Club I	***** CANCELLED *****	\$600.00
Total: EFT					3 \$15,328.50

Total: Cancelled 3 \$15,328.50

Grand Total: 3 \$15,328.50

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1676.205788-01	21/03/2016	205788Bank Of Queensland	New Muni Investments	\$2,000,000.00
1675.74667-01	21/03/2016	74667Department Of Fire & Emergency Serv	3rd Quarter ESL Remittance -Option B	\$1,863,839.33
1678.207550-01	22/03/2016	207550Pact Construction Pty Ltd	Manning Community Hub: Progress Claim #9	\$1,152,449.08
1668.76357-01	02/03/2016	76357Deputy Commissioner Of Taxation	PAYG PPE 15 & 29/2/2016	\$297,879.00
1669.76765-01	02/03/2016	76765WA Local Govt Superannuation Plan	Payroll Deduction PPE 1, 15 & 29/2/2016	\$263,588.73
1678.205260-01	22/03/2016	205260West Coast Profilers Pty Ltd	Lansdowne, Alston Rd Rehabilitation Work	\$253,693.34
1678.207310-01	22/03/2016	207310Perthwaste Green Recycling	Waste Disposal - Feb 2016	\$186,531.71
1671.205260-01	08/03/2016	205260West Coast Profilers Pty Ltd	Roebuck Drive: Road Rehabilitation	\$177,531.43
1681.76765-01	30/03/2016	76765WA Local Govt Superannuation Plan	Payroll Deduction PPE 14 & 28/3/2016	\$173,837.84
1678.73148-01	22/03/2016	73148Cleanaway	Bin Collections	\$159,399.92
1680.76357-01	30/03/2016	76357Deputy Commissioner Of Taxation	PAYG PPE 28/3/2016	\$150,717.00
1677.76357-01	21/03/2016	76357Deputy Commissioner Of Taxation	PAYG PPE 14/3/2016	\$146,362.00
1678.207407-01	22/03/2016	207407Axis Contracting Pty Ltd	Edgewater, SJMP, Alston	\$138,438.04
1678.84059-01	22/03/2016	84059Synergy	Power Usage, Street & Decorative	\$126,517.35
1678.203839-01	22/03/2016	203839Carringtons Traffic Services	Traffic Management - Various	\$96,890.16
1671.202859-01	08/03/2016	202859WA Hino Sales & Service	Hino 300 Series 716 Auto Truck	\$91,759.05
1678.207678-01	22/03/2016	207678Classic Tree Services	Pruning, Remove & Grind Trees	\$49,684.26
1671.206833-01	08/03/2016	206833Multiclean WA Pty Ltd	Cleaning Services: Feb 2016	\$46,979.35
1678.206939-01	22/03/2016	206939Natural Area Consulting	Cygnia Cove, Sulman Stairs	\$43,986.53
1678.206133-01	22/03/2016	206133LGISWA	Workers Comp Premium Adjust	\$42,677.80
1678.207695-01	22/03/2016	207695Horizon West Landscape & Irrigation	Bradshaw & Shaftesbury: Irrigation Insta	\$42,108.00
1678.74535-01	22/03/2016	74535Titan Ford	Ford Ranger Super Cab - SJMP	\$39,052.99
1678.204064-01	22/03/2016	204064MMM WA Pty Ltd	Repairs to Limestone Stairs, South of Co	\$38,220.73
1678.202455-01	22/03/2016	202455HI Lighting (1984) Pty Ltd	Civic Centre: Supply Lighting	\$37,510.00
1678.202679-01	22/03/2016	202679MP Rogers & Associates Pty Ltd	Millers Pool, Riverwall	\$36,990.29
1671.202644-01	08/03/2016	202644Harrison Electrics Pty Ltd	Electrical Works	\$36,467.22
1678.207687-01	22/03/2016	207687West Australian Steel Sales	Supply 2 x 30m3 Hooklift Bins	\$34,386.00
1678.200298-01	22/03/2016	200298Civica Pty Limited	Managed Svcs (Authority): April 2016	\$33,431.22
1678.206996-01	22/03/2016	206996Enviro Sweep	Sweeping of Commercial Zones & Precincts	\$32,147.80
1671.24182-01	08/03/2016	24182Trees Need Tree Surgeons	Tree Watering	\$32,005.99
1671.204452-01	08/03/2016	204452Clifton Perth	Fiesta 2016: Concert Setup & Equipment	\$31,718.72
1671.207711-01	08/03/2016	207711DSC-IT	Nintex Workflow Standard & Forms Standar	\$29,109.70
1682.206835-01	31/03/2016	206835Roads 2000	McDougall St Road Rehab: Progress Claim	\$28,618.99
1678.207680-01	22/03/2016	207680AquamoniX	Upgrade Controller Firmware At SJMP	\$23,385.45
1678.74187-01	22/03/2016	74187Fuji Xerox	Scanner, Lease Charges	\$23,297.60
1678.203103-01	22/03/2016	203103Jackson McDonald Lawyers	Como Hotel/Dan Murphys: Legal Advice	\$22,905.42
1672.202359-01	11/03/2016	202359Plant & Soil Management	Wicket/Outfield/Croquet Crts Maintenance	\$22,715.70
1678.207746-01	22/03/2016	207746Nathaniel Enterprises Pty Ltd	Fiesta Concert 2016	\$22,000.00
1678.204586-01	22/03/2016	204586Integrity Industrial	Temps - Infrastructure Services	\$21,901.41
1678.83929-01	22/03/2016	83929Dowsing Concrete	Allen, Marsh, Dyson	\$21,594.65
1678.76691-01	22/03/2016	76691Grass Growers	Plant & Operator for Mulching Works	\$21,395.00
1678.206835-01	22/03/2016	206835Roads 2000	Banksia/George & Brandon/George St Inter	\$20,992.71
1678.205870-01	22/03/2016	205870Rent A Fence Pty Ltd	Australia Day 2016: Fencing Hire	\$20,669.00
1678.202231-01	22/03/2016	202231Marketforce Pty Ltd	Advertising Southern Gazette & Recruitment	\$20,591.15
1671.204586-01	08/03/2016	204586Integrity Industrial	Temps - Infrastructure Services	\$20,180.49
1672.207489-01	11/03/2016	207489Survey Results	Henley St: Spot Road Marking for MRWA Li	\$19,708.31
1671.204064-01	08/03/2016	204064MMM WA Pty Ltd	SJMP: Remove Drainage Structure Before S	\$18,849.96
1678.74233-01	22/03/2016	74233Rosetta Holdings Pty Ltd	CPGC Green Fees Takings Comm - Feb	\$18,833.17
1678.206775-01	22/03/2016	206775NS Projects	Manning Comm Fac, EJ, Mends St	\$18,382.38
1678.207289-01	22/03/2016	207289Pracsys Management Systems Pty Ltd	Mends St National Stronger Regions Fund	\$18,150.00
1678.84405-01	22/03/2016	84405Garrards Pty Ltd	Prolink Briquets	\$17,778.11
1674.207663-01	16/03/2016	207663OnePath Masterfund	Mayoral Allow/Mtng Attend Fee/ IT Allow:	\$17,500.00
1678.204610-01	22/03/2016	204610Fixit Maintenance and Roofing	To Undertake Roof Cladding at Ops Centre	\$17,288.70
1678.203020-01	22/03/2016	203020Southern Coast Transit	Aust Day'16: Transperth Shuttle Svce	\$16,704.60
1671.204379-01	08/03/2016	204379Gel Group	Temps - HRS, Plann, CPV, EA to Mayor, Records	\$15,915.45
1675.205192-01	21/03/2016	205192Caltex Energy WA	Diesel	\$14,740.82
1671.207185-01	08/03/2016	207185Veraison Training & Development	Culture Optimisation Program	\$14,581.60
1678.73709-01	22/03/2016	73709Jason Signmakers	Roebuck Dr: Supply & Install Bus Shelter	\$14,256.00
1678.204538-01	22/03/2016	204538Cardno (WA) Pty Ltd	South Perth Station Precinct: Profession	\$14,081.98
1671.203839-01	08/03/2016	203839Carringtons Traffic Services	Roebuck Dr: Traffic Management	\$13,884.71
1678.207090-01	22/03/2016	207090Solo Resource Recovery	Jetting of Drain Pipes: Preston St & Kwi	\$13,874.30
1678.207709-01	22/03/2016	207709Marion Fredriksson Design	Mends St National Stronger Regions Fund	\$13,770.40
1678.203692-01	22/03/2016	203692ZD Constructions Pty Ltd	WCG Thomas Pavillion: Cleanup, Safety &	\$13,733.28
1679.202090-01	29/03/2016	202090Pedrini Painting	Painting of CPV Complex	\$13,628.50
1678.204379-01	22/03/2016	204379Gel Group	Temps - Records, HRS, CPV, Planning	\$13,343.09
1678.206239-01	22/03/2016	206239Information Proficiency	Pre-paid IM & ICT Spprt - Trim	\$13,200.00
1678.202644-01	22/03/2016	202644Harrison Electrics Pty Ltd	Electrical Works	\$13,182.18
1678.200974-01	22/03/2016	200974Hays Specialist Recruitment(Aust) P	Temps - Infrastructure Services	\$13,181.42
1678.202069-01	22/03/2016	202069Planning Solutions (Aust) Pty Ltd	Liquor Licence Application: Dan Murphy's	\$12,925.00
1678.84207-01	22/03/2016	84207Cardile International Fireworks Pty	Fiesta Concert 2016: Fireworks Display	\$12,755.00
1678.72842-01	22/03/2016	72842Australia Post	Postage, BillPay Trans Fees	\$12,306.72

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1678.206480-01	22/03/2016	206480PCP Sensemaking Pty Ltd	ICT Strategy Planning - Feb 2016	\$12,251.25
1671.202612-01	08/03/2016	202612Fleetcare	Fuel - February 2016	\$11,783.06
1671.206646-01	08/03/2016	206646Department Of Planning	DAP Application: 15 & 17 Eric Street	\$11,444.00
1671.83130-01	08/03/2016	83130GHD Pty Ltd	Design Services for Capital Works Projec	\$11,403.77
1678.207373-01	22/03/2016	207373Constructive Project Solutions Pty	Project Management Services: Feb 2016	\$11,360.28
1682.205246-01	31/03/2016	205246Rytech Australia Pty Ltd	Sustainability Project Consulting	\$11,343.75
1671.200974-01	08/03/2016	200974Hays Specialist Recruitment(Aust) P	Temps - Nursery, Envir Serv, City Env	\$11,201.77
1678.24182-01	22/03/2016	24182Trees Need Tree Surgeons	Trees & Plants Watering: Feb & 1st Week	\$11,138.15
1678.207644-01	22/03/2016	207644Alison Barrett - Art Consultant	Manning Hub Public Art: Artist Selection	\$11,000.00
1678.202404-01	22/03/2016	202404Nuturf Australia Pty Ltd	Supply & Applying of WettaSoil	\$11,000.00
1671.201463-01	08/03/2016	201463Bollig Design Group Pty Ltd	Manning Community Facility: Progress Pay	\$10,890.00
1678.204655-01	22/03/2016	204655Della's Group Pty Ltd	Peninsula Newsletter - March 2016	\$10,732.70
1678.201414-01	22/03/2016	201414Globe Australia Pty Ltd	Chemicals	\$10,669.56
1678.202490-01	22/03/2016	202490McLeods Barristers & Solicitors	Como Hotel, Dog Attack Prosecution	\$10,565.06
1671.206836-01	08/03/2016	206836Avantgarde Technologies	50 Hours Consulting - Block Time Agreeeme	\$10,450.00
1671.202251-01	08/03/2016	202251Danube River Pty Ltd	Business Excellence, CEO Review	\$10,450.00
1678.207718-01	22/03/2016	207718Phase 1 Audio	Fiesta Concert 2016: Audio Staff & Equip	\$10,340.00
1671.201523-01	08/03/2016	201523Lo-Go Appointments	Temp - HRS	\$10,275.36
1678.202674-01	22/03/2016	202674Ecoscape Australia Pty Ltd	Prof Svcs: Millers Pool Design Work	\$9,443.28
1678.205538-01	22/03/2016	205538Nextgen Networks Pty Ltd	Internet Corporate & VPLS Fees: March 20	\$9,412.70
1678.201590-01	22/03/2016	201590The Pressure King	Pressure Cleaning	\$8,713.10
1671.207717-01	08/03/2016	207717Picnic Tables Hire	Fiesta & Marketplace: Table & Umbrella H	\$8,712.00
1671.207407-01	08/03/2016	207407Axis Contracting Pty Ltd	Concrete Works: Roebuck Dr	\$8,662.72
1678.205744-01	22/03/2016	205744Road Signs Australia	Supply Parking Signs	\$8,237.46
1678.206833-01	22/03/2016	206833Multiclean WA Pty Ltd	Post Function Cleans	\$8,099.39
1671.207106-01	08/03/2016	207106pSquared Communications	Fiesta & Angelo St Marketplace: Marketin	\$7,944.75
1678.205064-01	22/03/2016	205064Data#3 Limited	Symantec Email Safeguard Cloud x 215	\$7,882.55
1682.203103-01	31/03/2016	203103Jackson McDonald Lawyers	Como Hotel/Dan Murphys: Legal Advice	\$7,781.31
1682.204538-01	31/03/2016	204538Cardno (WA) Pty Ltd	Mill Point Rd: Traffic Impact Assessmen	\$7,689.00
1671.204061-01	08/03/2016	204061Discus Digital Print	Fiesta & Seasonal Banners	\$7,668.10
1678.207432-01	22/03/2016	207432Italo's Tiling Service	CPV U115: Retiling of Bathroom	\$7,640.00
1678.206550-01	22/03/2016	206550Capital Recycling	Removal of Concrete & Sand Mix	\$7,475.60
1678.72990-01	22/03/2016	72990Bunnings Building Supplies P/L	Picture Hanging Hooks	\$7,463.23
1671.74357-01	08/03/2016	74357RA Shopland	Internal Refurbishment - CPV U22	\$7,370.00
1678.205452-01	22/03/2016	205452Action Fencing Services	Gates & Fencing Repairs & Replace	\$7,370.00
1678.204260-01	22/03/2016	204260Beaver Tree Services	Tree Removal - Bodkin Park	\$7,269.20
1678.203868-01	22/03/2016	203868Mills Sign & Painting	Painting of Hall & Foyer, GBLC Rooms	\$7,205.00
1678.206929-01	22/03/2016	206929Scatena Clocherty Architects	Landscape Drawings -C/C Retaining Wall	\$6,985.00
1671.206869-01	08/03/2016	206869Innovations Catering	Aust Day 2016: Catering for Staff & Arti	\$6,800.00
1678.203752-01	22/03/2016	203752Hillarys Plumbing & Gas	Plumbing Works	\$6,724.14
1678.206609-01	22/03/2016	206609Datacom Systems WA Pty Ltd	Provision Sphere Functionality: Feb'16	\$6,600.00
1674.207611-01	16/03/2016	207611Ms J Black	Mtng Attend Fees/Comm & IT Allow:Apr-Jun	\$6,540.00
1674.207613-01	16/03/2016	207613Mr T Burrows	Mtng Attend Fees/Comm & IT Allow:Apr-Jun	\$6,540.00
1674.84867-01	16/03/2016	84867Mr C A Cala	Mtng Attend Fees/Comm & IT Allow:Apr-Jun	\$6,540.00
1674.207091-01	16/03/2016	207091Cheryle Irons	Mtng Attend Fees/Comm & IT Allow:Apr-Jun	\$6,540.00
1674.206254-01	16/03/2016	206254Fiona Reid	Mtng Attend Fees/Comm & IT Allow:Apr-Jun	\$6,540.00
1674.207612-01	16/03/2016	207612Mr K Manolas	Mtng Attend Fees/Comm & IT Allow:Apr-Jun	\$6,540.00
1674.206256-01	16/03/2016	206256Sharron Hawkins-Zeeb	Mtng Attend Fees/Comm & IT Allow:Apr-Jun	\$6,540.00
1678.207230-01	22/03/2016	207230The Hire Guys	Fiesta Concert 2016: Equipment Hire	\$6,527.40
1674.202938-01	16/03/2016	202938Mrs S D Doherty	Mayoral Allow/ Mtng Attend Fee/ IT Allow:	\$6,421.25
1678.206688-01	22/03/2016	206688Glen Flood Group Pty Ltd	Design for Proposed R/bout, SPLTC Exp	\$6,354.70
1678.207030-01	22/03/2016	207030GAF Traffic	Consultant to Provide Road Safety & Tran	\$6,270.00
1678.205247-01	22/03/2016	205247State Wide Turf Services	Turf/Sand Supplies,Wetta Soil,Tipper Hir	\$6,177.38
1678.203749-01	22/03/2016	203749Weston Road Systems	Re-Marking Lines & Signs	\$6,096.20
1678.76773-01	22/03/2016	76773Total Eden	Reticulation Supplies	\$5,956.46
1678.205423-01	22/03/2016	205423Michael Page International Pty Ltd	Temp - Digital Marketing	\$5,919.24
1678.204236-01	22/03/2016	204236Erections (WA)	Supply & Install Crash Barrier at South	\$5,819.00
1678.202372-01	22/03/2016	202372Heatley Sales Pty Ltd	Restocking of PPE's	\$5,637.65
1671.207720-01	08/03/2016	207720Philip Watson	Install Brick Walls At Ops Centre	\$5,423.00
1671.202304-01	08/03/2016	202304Landmark Engineering & Design	2 x Boulevard Benches & 1 Platform Bench	\$5,417.50
1678.74357-01	22/03/2016	74357RA Shopland	CPV U2 & 115 Refurb	\$5,302.00
1678.205499-01	22/03/2016	205499Design Farm (WA) Pty Ltd	4 x WK Lox Chairs	\$5,262.40
1671.204935-01	08/03/2016	204935E-Par Pty Ltd	Platinum Membership: 11/12/15-10/12/16	\$5,225.00
1678.207725-01	22/03/2016	207725Nexxial Ecology Pty Ltd	Cygnia Cove Natural Areas: Aquatic Weed	\$5,060.00
1671.205247-01	08/03/2016	205247State Wide Turf Services	GBLC: Verti Draining & Aeration	\$5,003.94
1678.205180-01	22/03/2016	205180Perth Security Services	Mobile Patrols, Lockups, Staff Escorts, Call Outs	\$4,940.23
1678.73342-01	22/03/2016	73342Landgate	Licence Contract for SLIP: Year 1 of 3	\$4,885.76
1671.73342-01	08/03/2016	73342Landgate	Data Capture Services	\$4,737.24
1671.207678-01	08/03/2016	207678Classic Tree Services	Tree Pruning - Lower C/Park Civic Centre	\$4,713.51
1678.207489-01	22/03/2016	207489Survey Results	Surveying Services: Marsh Ave Line Marki	\$4,711.59
1671.206132-01	08/03/2016	206132Hinds Sand Supplies	Crushed Gravel Delivered to SJMP	\$4,613.40

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1678.204152-01	22/03/2016	204152Enware Australia Pty Ltd	Grass Cart For Wash Down Bay	\$4,554.55
1678.203975-01	22/03/2016	203975Syrinx Environmental Pty Ltd	CPGC Sanctuary Sites: Weed Control - Feb	\$4,510.00
1678.203366-01	22/03/2016	203366T-Quip	Parts for Plant	\$4,471.55
1678.201100-01	22/03/2016	201100HydroQuip Pumps	Irrigation Dsgns: Bradshaw/Shafsbury/Ja	\$4,369.64
1678.207422-01	22/03/2016	207422Travel Beyond Group Pty Ltd	Fiesta Concert Entertainment	\$4,265.00
1671.201960-01	08/03/2016	201960Southern Shades	Civic Hall - Maintenance	\$4,200.00
1678.207735-01	22/03/2016	207735Hudson Global Resources (Aust) Pty	Provision of Outplacement Services	\$4,180.00
1678.206607-01	22/03/2016	206607The Brand Agency	Google Mini Hosting - Feb 2016	\$4,162.88
1678.205677-01	22/03/2016	205677Memento Australia Pty Ltd	Merchandise for Marketplace	\$4,154.93
1678.74446-01	22/03/2016	74446Richgro Garden Products	Native Potting Mix	\$4,140.00
1678.206834-01	22/03/2016	206834Advanced Pest Control Pty Ltd	Mosquito Spray - Waterford Foreshore	\$4,114.00
1678.204486-01	22/03/2016	204486Alderling & Associates	333 Mill Point Road: Professional Servic	\$4,044.12
1671.200880-01	08/03/2016	200880Sports Turf Technology	Soil & Leaf Analysis	\$4,004.00
1678.207063-01	22/03/2016	207063Alleasing Pty Ltd	Lease of Two Way Equipment: 1/4/16-30/6/	\$3,882.88
1671.204374-01	08/03/2016	204374Garmony Property Consultants	Valuation Report: 2 Brittain St	\$3,875.00
1678.203523-01	22/03/2016	203523Marindust Sales	Replacement AFL Goal Sleeves	\$3,865.40
1671.200544-01	08/03/2016	200544TJ & J Sheppard	Como Jetty Repairs	\$3,839.00
1671.204653-01	08/03/2016	204653Ultimo Catering And Events	Catering - Meetings & Training	\$3,830.35
1678.204888-01	22/03/2016	204888Bellridge Pty Limited	ManageEngine Serve Desk + Std Editonal	\$3,767.91
1678.203760-01	22/03/2016	203760FCT Surface Cleaning	Cleaning of Toilets after fire - WCG	\$3,663.00
1678.202786-01	22/03/2016	202786Sage Consulting Engineers Pty Ltd	Sth Pth Lawn Tennis Club: Agreed Design	\$3,608.00
1682.204657-01	31/03/2016	204657MACRI Partners	Grant Acquittals	\$3,575.00
1678.200780-01	22/03/2016	200780Nashtec Auto Electrics	AirCon Repairs to Plant	\$3,516.45
1678.201783-01	22/03/2016	201783Air Torque Refrigeration & Aircond	CPV U22, 115, 88	\$3,427.60
1671.206133-01	08/03/2016	206133LGISWA	Workers Comp Premium	\$3,395.35
1671.206104-01	08/03/2016	206104Coolmate Pty Ltd	Ops C: Air Con Repairs	\$3,387.45
1678.205166-01	22/03/2016	205166Andreotta Cardenosa Consulting	Ops C: Extension Inspection & Report	\$3,355.00
1671.204981-01	08/03/2016	204981Westrac Pty Ltd	Plant Service	\$3,216.25
1678.203439-01	22/03/2016	203439Prestige Alarms	Mobile Patrols, Call Outs	\$3,199.86
1671.202490-01	08/03/2016	202490McLeods Barristers & Solicitors	Como Hotel/Dan Murphys: Legal Advice	\$3,187.25
1671.73229-01	08/03/2016	73229Como Plumbing Services	Plumbing CPV U126, 146, 22	\$3,175.04
1671.204875-01	08/03/2016	204875Oxfords Carpentry & Renovations Pty	Gutter Cleaning, Steel Framing	\$3,167.67
1671.204923-01	08/03/2016	204923Huntingdale Cabinets	Cabinet Refurbishment - CPV U22	\$3,135.00
1678.20391-01	22/03/2016	20391Total Turf	2 Tonne Eco Prime Emerald	\$3,103.10
1671.207709-01	08/03/2016	207709Marion Fredriksson Design	Mends St National Stronger Regions Fund	\$3,100.00
1671.202619-01	08/03/2016	202619Perth Basketball Association	KidSport Grant: Sport 4 All x 15	\$3,000.00
1678.207745-01	22/03/2016	207745Archery Western Australia	Aust Day 2016: Archery Attraction	\$3,000.00
1671.207188-01	08/03/2016	207188Wild Honey - Carlos Maxwell	Remove Bee Hives From Street Trees	\$2,950.00
1671.205648-01	08/03/2016	205648Integral Development Pty Ltd	CEO Strategic Planning: Progress Pmt #2	\$2,948.00
1678.207743-01	22/03/2016	207743Nature Calls Portable Toilets	Fiesta Concert 2016: Toilet Hire	\$2,904.00
1678.207525-01	22/03/2016	207525WA Pump Control Systems Pty Ltd	Electrical Maintenance	\$2,810.84
1671.203917-01	08/03/2016	203917JBA Surveys	Catchment 106 Drainage Upgrade: Full Fea	\$2,805.00
1671.205955-01	08/03/2016	205955Beacon Equipment - Canning Vale	Service of John Deer Gatar	\$2,760.95
1671.204581-01	08/03/2016	204581Hufcor Group	Replace 3 Carriers at Civic Centre Hall	\$2,750.00
1678.201823-01	22/03/2016	201823Boral Construction Materials Group	Supply & Deliver 1 Tonne Asphalt	\$2,716.01
1671.203306-01	08/03/2016	203306AGS Metalwork	Jackson Rd: Supply & Install 2 Removable	\$2,546.50
1678.201984-01	22/03/2016	201984John Papas Trailers Pty Ltd	Heavy Duty Trailer	\$2,545.00
1678.203996-01	22/03/2016	203996Spare Parts Puppet Theatre	Fiesta Concert 2016: Performers	\$2,535.00
1670.207719-01	03/03/2016	207719KWizCom Corp	Sharepoint Clipboard & Support	\$2,510.61
1678.206104-01	22/03/2016	206104Coolmate Pty Ltd	Air-con Maint: Ops Centre	\$2,509.66
1682.207757-01	31/03/2016	207757Lewis Horne	Angelo St Markets: Lego Installation	\$2,500.00
1682.207755-01	31/03/2016	207755Stylespiration	Angelo St Markets: Fashion Show	\$2,500.00
1678.207733-01	22/03/2016	207733Rawlinsons (WA)	Preparation of Priced Bill of Quantities	\$2,475.00
1671.203877-01	08/03/2016	203877Global CCTV Pty Ltd	CCTV for Animal Care Facility	\$2,464.00
1678.206979-01	22/03/2016	206979Sierra Systems Pty Ltd	Wireless Site Survey for Manning Hub	\$2,395.80
1678.203328-01	22/03/2016	203328Greenway Enterprises	Equipment Hire - Post Driver	\$2,394.58
1678.206436-01	22/03/2016	206436Xylem Water Solutions Australia Ltd	Servicing of Pump Stations	\$2,355.69
1678.204604-01	22/03/2016	204604Schindler Lifts Australia Pty Ltd	Service Maintenance for Civic Lifts: 1/4	\$2,329.24
1678.203710-01	22/03/2016	203710Sunny Sign Company Pty Ltd	Signs	\$2,311.14
1678.207169-01	22/03/2016	207169West-Sure Group Pty Ltd	Parking Ticket Machines: Coin Collection	\$2,309.09
1671.205257-01	08/03/2016	205257Austral Mercantile Collections Pty	Rates Collection Costs - Feb 2016	\$2,275.64
1678.204681-01	22/03/2016	204681Urbis	Mends St Path Upgrade: Consultant	\$2,234.19
1671.207401-01	08/03/2016	207401Grand Theatre Company Pty Ltd	Cygnat Cinema Hire: Deadly Funny	\$2,200.00
1671.206715-01	08/03/2016	206715D A Christie Pty Ltd t/as Christie	Supply 1 x BBQ Bench	\$2,189.00
1671.76431-01	08/03/2016	76431Statewide Line Marking	Transfer Station: Line Marking	\$2,152.70
1678.24269-01	22/03/2016	24269Wall To Wall Carpets	Carpet Replacement at GBLC Office	\$2,150.00
1678.206937-01	22/03/2016	206937iSentia Pty Ltd	Media Monitoring: Feb 2016	\$2,118.99
1671.203461-01	08/03/2016	203461WC Convenience Management Pty Ltd	Exeloo Toilet Maintenance & Cleaning: Fe	\$2,095.37
1678.203461-01	22/03/2016	203461WC Convenience Management Pty Ltd	Exeloo Toilet Maintenance & Cleaning: Ma	\$2,095.37
1678.205731-01	22/03/2016	205731Centurion Temporary Fencing	Fiesta Concert 2016: Fencing Hire	\$2,079.00
1678.207287-01	22/03/2016	207287Garden City Plastics	18 x Cell Crates & 12 Cartons 50mm Tubes	\$2,024.78

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1678.203504-01	22/03/2016	203504Imperial Glass	James Miller Pavillion: Replace Broken G	\$2,022.87
1673.207734-01	15/03/2016	207734WFI Insurance Ltd	Motor Vehicle Accident	\$2,016.27
1682.207759-01	31/03/2016	207759Elizabeth Sheldon	Aust Day 2016: Flurotrash Performers	\$1,990.00
1671.205785-01	08/03/2016	205785Peoplebank Australia Ltd	Temp - IT	\$1,975.19
1671.202792-01	08/03/2016	202792Award Contracting	Locate Electrical Cables for Sky Show Sh	\$1,947.00
1671.205423-01	08/03/2016	205423Michael Page International Pty Ltd	Temp - Digital Marketing Officer	\$1,940.73
1678.207215-01	22/03/2016	207215Blue Force Pty Ltd	24 Hour Emergency Help Monitoring: Feb 2	\$1,917.99
1671.205180-01	08/03/2016	205180Perth Security Services	Mobile Patrols	\$1,875.17
1678.202459-01	22/03/2016	202459Traffic Management Plan Services	Auditing of Traffic Management Sites: Fe	\$1,870.00
1678.206716-01	22/03/2016	206716Collector Of Public Monies	Water Sample Analysis: Cygnia Cove	\$1,859.75
1678.202511-01	22/03/2016	202511Pirtek Welshpool	Repairs to Plant	\$1,851.55
1671.203749-01	08/03/2016	203749Weston Road Systems	River Way: Redo Street Numbering 124-126	\$1,806.20
1682.207756-01	31/03/2016	207756Edwina A Masson	Fiesta Concert 2016: 11 Piece Band	\$1,800.00
1671.204337-01	08/03/2016	204337Kerb Doctor	Banksia & Brandon Sts: Kerbing	\$1,795.20
1671.203692-01	08/03/2016	203692ZD Constructions Pty Ltd	Repair Garage/Storeroom Wall - CPV U59	\$1,790.80
1678.207207-01	22/03/2016	207207Micktrix Events	Fiesta Concert 2016: Balance of Lighting	\$1,782.00
1669.201999-01	02/03/2016	201999Health Insurance Fund of WA	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,740.15
1678.207166-01	22/03/2016	207166Kevins Water Cartage	2 Days Hire For Dust Control During Mulc	\$1,735.00
1678.206706-01	22/03/2016	206706Holcim (Australia) Pty Ltd	Concrete for 3 Wattle St	\$1,731.51
1678.201417-01	22/03/2016	201417Men of the Trees	Supply Tube Stock	\$1,716.00
1678.205257-01	22/03/2016	205257Austral Mercantile Collections Pty	Legal/Lawyers Fees- Debt Collect: Feb'16	\$1,671.14
1671.207112-01	08/03/2016	207112A Giumelli & Sons 1989 Pty Ltd	2 x Silvan 400Ltr Bare Tanks	\$1,650.00
1678.207741-01	22/03/2016	207741Kylie Boomerang Art & Design	Millers Pool Project: Design Development	\$1,650.00
1678.204926-01	22/03/2016	204926Parallax Productions Pty Ltd	Angelo St: Install Art Project - 1st Pay	\$1,650.00
1671.205542-01	08/03/2016	205542Advam Pty Ltd	Sprrt Fees:Mar'16 & Trans:Feb'16	\$1,611.28
1678.203632-01	22/03/2016	203632Reino International	2 x Door Locks for Angelo St Ticket Mach	\$1,604.70
1671.204675-01	08/03/2016	204675Insight Call Centre Services	Monthly Service Fees: Jan 2016	\$1,577.31
1678.22395-01	22/03/2016	22395DBS Fencing	Collins St Hall: Relocate & Modify Fence	\$1,573.00
1678.203502-01	22/03/2016	203502WA Bluemetall	56 Tonne Road Base	\$1,563.51
1671.204711-01	08/03/2016	204711Dint Australia Pty Ltd	Flag & Flagsticks	\$1,544.40
1678.206142-01	22/03/2016	206142Aquawash Tile & Carpet Cleaning	Carpet Cleaning: Civic Centre Foyer, Sta	\$1,503.70
1678.207636-01	22/03/2016	207636Jana Braddock Arts	Design for Millers Pool: Public Art	\$1,500.00
1678.200620-01	22/03/2016	200620Rotary Club Of Como Inc	Fiesta 2016: Parking Management	\$1,500.00
1678.207070-01	22/03/2016	207070Sharyn Egan	Millers Pool: Design for Public Art	\$1,500.00
1678.207420-01	22/03/2016	207420Bridgestone Australia Ltd	Tyre Repair to Plant	\$1,476.20
1671.206904-01	08/03/2016	206904South Perth United Football Club	KidSport Grant: Sport 4 All x 1	\$1,400.00
1671.202918-01	08/03/2016	202918Environmental Industries Pty Ltd	Millpoint Entry Statement: Monthly Maint	\$1,375.00
1678.203877-01	22/03/2016	203877Global CCTV Pty Ltd	GBLC: CCTV Maintenance - 12 Months	\$1,369.50
1678.204675-01	22/03/2016	204675Insight Call Centre Services	Mnthly Svce Fees: Feb 2016	\$1,348.50
1678.205985-01	22/03/2016	205985C & T Reticulation	Repairs to Damaged Retic: Hobbs & Axford	\$1,320.00
1678.203922-01	22/03/2016	203922Local Refrigeration & Air Condition	Ice Machine Repairs - CC, Ops Centre	\$1,298.00
1678.201815-01	22/03/2016	201815Quick Corporate Aust Pty Ltd	Stationary Supplies: Ops Centre	\$1,270.66
1678.207671-01	22/03/2016	207671Ohura Consulting	Consultancy-Reclassification & EBA Train	\$1,270.50
1678.207557-01	22/03/2016	207557TenderLink.Com	Advertising	\$1,265.00
1678.207424-01	22/03/2016	207424Fiona Read T/As Wizard Events	Angelo St Markets: Supervise Childrens A	\$1,248.00
1671.201343-01	08/03/2016	201343Sledgehammer Concrete Cutting Servi	Grinding of Footpaths	\$1,229.00
1678.206166-01	22/03/2016	206166Manheim Pty Ltd	Abandoned Vehicle- Towage/Seller Return	\$1,221.00
1678.200254-01	22/03/2016	200254APRA Ltd	Recorded Music Licence Fees: 1/3/16-31/5	\$1,213.16
1672.207596-01	11/03/2016	207596Hopscotch Wine & Tapas Bar	Sundowner: Feb 2016	\$1,200.00
1681.201999-01	30/03/2016	201999Health Insurance Fund of WA	Payroll Deduction PPE 14 & 28/3/2016	\$1,160.10
1678.205054-01	22/03/2016	205054J Gourdis Landscapes	Gdn/Turf Maint - Various Pks/Schools	\$1,160.00
1678.206178-01	22/03/2016	206178Plantrite	Plant Cells	\$1,158.96
1671.206688-01	08/03/2016	206688Glen Flood Group Pty Ltd	McDougall St Rehabilitation: Jan 2016	\$1,123.65
1678.207739-01	22/03/2016	207739POD By LisaJ	Graphic Designs Support for NSRF Applica	\$1,116.50
1678.207128-01	22/03/2016	207128Blake Shopland Carpentry	Pergola, Gutter & Soakwell - CPV U115	\$1,100.00
1671.201827-01	08/03/2016	201827Contek Communications	Repairs to Path & Pit	\$1,081.40
1671.205437-01	08/03/2016	205437Greenline Ag	Callout & Repairs to Plant	\$1,070.40
1678.207553-01	22/03/2016	207553The Rigging Shed	8 x Anchor Points, Loose Tools	\$1,056.00
1678.204337-01	22/03/2016	204337Kerb Doctor	Pennington Lane: Flash Kerbing	\$1,039.50
1678.74683-01	22/03/2016	74683WA Limestone Co	2 x Semi Loads of Yellow Sand: Roebuck D	\$1,037.58
1678.202642-01	22/03/2016	202642Royal Life Saving Society of WA	Home Pool Inspections x 11	\$1,028.50
1682.207758-01	31/03/2016	207758COMPSYC	Morning Melodies: Kids Performer	\$1,003.40
1678.207730-01	22/03/2016	207730Helen Seiver	Fiesta 2016: Art Supply & Installation	\$1,000.00
1678.73229-01	22/03/2016	73229Como Plumbing Services	Plumbing Maint for Units 2/57, 66 & 22	\$974.82
1671.81916-01	08/03/2016	81916Westral	Vertical Blinds - CPV U22	\$973.00
1678.204981-01	22/03/2016	204981Westrac Pty Ltd	Rock Breaker Repair	\$965.03
1678.76672-01	22/03/2016	76672Abacus Rent It	Fiesta Concert 2016: iPad Hire For Surve	\$959.20
1678.206639-01	22/03/2016	206639Redimed Pty Ltd	Pre-employment Medicals	\$957.00
1678.205955-01	22/03/2016	205955Beacon Equipment - Canning Vale	Sharpening of Tungsten Chains	\$943.90
1678.204510-01	22/03/2016	204510Karalee Tavern	Fiesta Concert - Beverages	\$935.62
1678.201608-01	22/03/2016	201608Econo Sweep	Sweep Carparks	\$935.00

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1678.207724-01	22/03/2016	207724Yardgames.com.au	Sports Goods	\$913.42
1678.207740-01	22/03/2016	207740Norwood Industries Pty Ltd	Supply Assorted Pre-Printed Labels as Li	\$885.50
1671.204001-01	08/03/2016	204001Temptations Catering	Council Meeting: Catering	\$879.80
1671.204655-01	08/03/2016	204655Della's Group Pty Ltd	Fiesta 2016 Programs x 1000	\$816.20
1671.202959-01	08/03/2016	202959Playright Australia Pty Ltd	Handgrips for Galaxy Unit	\$815.32
1678.207642-01	22/03/2016	207642Mattress Removal WA	Removal of Mattresses From Transfer Stat	\$806.50
1678.202681-01	22/03/2016	202681Ecojobs	Bodkin Park Living Stream & Surround Mai	\$800.80
1678.200510-01	22/03/2016	200510Totally Workwear - Victoria Park	25 Embroidered Polo Shirts	\$795.48
1678.203650-01	22/03/2016	203650Access Unlimited	New Roof Anchors for Ops Centre	\$792.00
1678.204708-01	22/03/2016	204708Cash & Carry	Fiesta Concert 2016: Consumables	\$788.01
1671.202452-01	08/03/2016	202452Lock Stock & Farrell Locksmith	Keys & Locks	\$774.90
1678.206132-01	22/03/2016	206132Hinds Sand Supplies	26 Tonne Turf Sand	\$757.95
1671.207642-01	08/03/2016	207642Mattress Removal WA	Mattress Removal from Transfer Station	\$757.50
1678.206123-01	22/03/2016	206123COVS Parts Pty Ltd	Workshop Consumables	\$749.99
1678.207529-01	22/03/2016	207529Sims Recycling Solutions (ESPA)	Ewaste Recycling Charges At Transfer Sta	\$741.62
1671.200866-01	08/03/2016	200866Besam Australia	Automatic Door Maintenance 2015/2016	\$726.00
1671.207444-01	08/03/2016	207444Love Letters AU	Fiesta 2016: Hire of Light Up "FIESTA"	\$720.00
1678.25544-01	22/03/2016	25544Vertel Telecoms Pty Ltd	Changeover of Two Ways to Plant	\$707.30
1671.202681-01	08/03/2016	202681Ecojobs	Bodkin Park Living Stream & Surround Mai	\$700.70
1678.202452-01	22/03/2016	202452Lock Stock & Farrell Locksmith	WCG Thomas Pavillion: Re Keying After Fi	\$700.10
1678.72966-01	22/03/2016	72966Benara Nurseries	CPV: Garden Plants	\$682.70
1671.203622-01	08/03/2016	203622Harvey Fresh	Milk & OJ Supplies	\$680.40
1671.201783-01	08/03/2016	201783Air Torque Refrigeration & Aircond	Assorted Electrical Maint - CPV	\$676.50
1678.203917-01	22/03/2016	203917JBA Surveys	Spotting for New Island & Ramp: George S	\$676.50
1671.76267-01	08/03/2016	76267Daytone Printing	Business Cards	\$675.40
1671.205097-01	08/03/2016	205097Perth Bin Hire	Hire of Skip Bin for Rubbish	\$675.00
1678.72834-01	22/03/2016	72834Blackwoods	2 x Spill Kits	\$667.15
1678.207731-01	22/03/2016	207731Childrens Book Council of Aust (NSW)	CBC Conference x 1 Attend	\$665.00
1678.207327-01	22/03/2016	207327Isunshade System	Repairs to Community Hall Blinds	\$665.00
1678.206991-01	22/03/2016	206991Red Spear Pty Ltd	Fiesta Concert: Welcome to the Country	\$660.00
1671.207530-01	08/03/2016	207530Offshore Mining & Civil Pty Ltd	Degassing of Fridges/Freezers 2/2/16	\$654.50
1678.201859-01	22/03/2016	201859Como IGA	Catering - Fiesta Concert	\$649.10
1678.205546-01	22/03/2016	205546Splash Promotions	Merchandise for Marketplace	\$649.00
1671.206142-01	08/03/2016	206142Aquawash Tile & Carpet Cleaning	Cleaning of Library Chairs	\$637.98
1678.76599-01	22/03/2016	76599New Town Toyota	Fleet Vehicle Service, Replacement Mirror	\$621.10
1678.207157-01	22/03/2016	207157Eluma Event Solutions	Fiesta 2016: VIP Seating	\$620.00
1671.207128-01	08/03/2016	207128Blake Shopland Carpentry	Construct/Install Lattice Panels CPV U59	\$605.00
1678.85086-01	22/03/2016	85086St John Ambulance Aust (WA) Inc.	First Aid Svcs- Mng Melodies/Deadly Funn	\$603.90
1671.207593-01	08/03/2016	207593Star-Mites Gym Sports	KidSport Grant: Sport 4 All x 1	\$600.00
1672.207295-01	11/03/2016	207295Riverside Christian Football Club I	KidSport Grant: Sport 4 All x 3	\$600.00
1678.206793-01	22/03/2016	206793Beta Pest Management	CPV U117: White Ant Treatment	\$594.00
1678.207721-01	22/03/2016	207721Clarity Corporate Communications Pt	Consultancy Works for the CEO	\$594.00
1678.202328-01	22/03/2016	202328SecurePay Pty Ltd	Web Payments - Feb 2016	\$578.05
1678.202378-01	22/03/2016	202378Raewyn Carroll	Naplan for Parents Session	\$572.40
1678.201523-01	22/03/2016	201523Lo-Go Appointments	Temp - HRS	\$570.33
1678.203081-01	22/03/2016	203081Filters Plus	Sets Of Filters for Plant	\$554.40
1671.76388-01	08/03/2016	76388Australian Plant Wholesalers	Plant Purchases	\$550.00
1671.205578-01	08/03/2016	205578Churches Of Christ Sport & Recreati	Aust Day'16 - Honorarium: E Olsen-Volunt	\$550.00
1678.207747-01	22/03/2016	207747Bisschops Glass	Fiesta 2016: Art Installation	\$550.00
1678.206785-01	22/03/2016	206785Outer Bounds Photography	Fiesta 2016: Ascending Signals Photograp	\$550.00
1671.207024-01	08/03/2016	207024SEM Distribution	Newspaper Deliveries: 11/1/16-7/2/16 Ops	\$530.28
1678.203306-01	22/03/2016	203306AGS Metalwork	Fabricate New Bus Shelter Suports & Fitt	\$528.00
1678.205754-01	22/03/2016	205754AV Custom Engineering	Lib Function Rm:TV Repair & iOS Upgrade	\$528.00
1678.204458-01	22/03/2016	204458Central Fire Services Pty Ltd	Alarm Maintenance	\$525.25
1671.205591-01	08/03/2016	205591Chivers Asphalt Pty Ltd	Asphalt Removal/Replace: 1 Roebuck	\$522.50
1671.207716-01	08/03/2016	207716Civic Legal Pty Ltd	How To Be A Good Councillor: Workshop	\$522.50
1671.202457-01	08/03/2016	202457Wesley South Perth Hockey Club	KidSport Grant: Sport 4 All x 1	\$520.00
1671.203439-01	08/03/2016	203439Prestige Alarms	Civic Library: Service Call	\$514.80
1678.207419-01	22/03/2016	207419Instant Products Hire	Toilet Hire - Karawara Event	\$510.40
1671.76626-01	08/03/2016	76626Bunzl Ltd	Air Fresheners Refills	\$498.65
1671.205710-01	08/03/2016	205710C K Smith	Cleaning - CPV U126	\$495.00
1678.203962-01	22/03/2016	203962Chair Guru	Chair Maintenance	\$485.10
1678.200866-01	22/03/2016	200866Besam Australia	Automatic Door Maintenance 2015/2016	\$484.00
1678.207358-01	22/03/2016	207358Stickerworld Pty Ltd	Magnets	\$483.45
1671.21521-01	08/03/2016	21521Williams Electrical Service Pty Ltd	Testing - Emergency Exit Lighting	\$480.98
1678.207748-01	22/03/2016	207748Trevor Alan Bly	Fiesta 2016: Art Installation	\$475.00
1671.201391-01	08/03/2016	201391Refresh Pure Water	Water Bottle Refills	\$470.00
1671.206076-01	08/03/2016	206076Koori Kids	NAIDOC Schools Initiatives 2016	\$450.00
1671.204159-01	08/03/2016	204159Perth Training Centre	Excavator Training	\$450.00
1669.76670-01	02/03/2016	76670Deputy Child Support Registrar	Payroll Deduction PPE 1, 15 & 29/2/2016	\$446.16
1678.201800-01	22/03/2016	201800Eighty Nine Enterprises	CPV U42, 64 & 3 Roller Doors	\$439.98

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1671.205741-01	08/03/2016	205741FE Technologies	Library Annual Maint: Mar 16 to Feb 17	\$435.60
1671.205531-01	08/03/2016	205531Hutton Street Carpet Court	Floorcoverings - CPV U119	\$435.00
1678.202766-01	22/03/2016	202766Urban Development Institute of Aust	Lunch With The Premier: CEO, Mayor, DCS	\$435.00
1671.202403-01	08/03/2016	202403Jasman Enterprises Pty Ltd	Callout & Service of Plant	\$420.37
1669.207418-01	02/03/2016	207418P Baker Supperannuation Fund	Payroll Deduction PPE 29/2/2016	\$410.31
1671.84314-01	08/03/2016	84314Work Clobber	Safety Boots	\$388.58
1678.207520-01	22/03/2016	207520KNK Group Pty Ltd	CPV U47: Door Maintenance	\$374.00
1678.206782-01	22/03/2016	206782Staples Australia Pty Ltd	Soap Dispensers, A4 Paper	\$372.05
1671.204468-01	08/03/2016	204468John Hughes Service	Fleet Vehicle Service	\$370.00
1671.206658-01	08/03/2016	206658Fish Doctor	Aquarium Service: Feb 2016	\$352.00
1678.200293-01	22/03/2016	200293Poolegrave Signs & Engraving	Crests - Civic Centre Signage	\$352.00
1671.207607-01	08/03/2016	207607A1 Apiaries	EJ Pavillion: Euthanase Bees in Wall Cav	\$350.00
1671.206282-01	08/03/2016	206282Wadumbah Aboriginal Dance Group	Citizenship Ceremony: Welcome to the Cou	\$330.00
1678.204808-01	22/03/2016	204808Absolute Reticulation	Weston Ave/Sulman Ave: Retic Repairs	\$330.00
1678.204374-01	22/03/2016	204374Garmony Property Consultants	CPV U22: Valuation Report	\$330.00
1678.204817-01	22/03/2016	204817Kerry-Ann Winmar T/as Moordjarl	Millers Pool Consultancy	\$330.00
1678.206852-01	22/03/2016	206852WA Building Certifiers & Assessors	Cert Design Compliance - 56B Robert St	\$330.00
1671.203962-01	08/03/2016	203962Chair Guru	Repairs to Ops Centre Chairs	\$319.00
1671.204291-01	08/03/2016	204291Recall Information Management Pty L	Off-site Archive Storage & Retrieval	\$310.79
1682.207710-01	31/03/2016	207710The Retic Gurus	25 Edgewater Rd: Retic Repairs	\$303.60
1671.207658-01	08/03/2016	207658Hire A Busker	Angelo St Market Place: Buskers - 50% De	\$300.00
1678.207658-01	22/03/2016	207658Hire A Busker	Angelo St Marketplace: Buskers	\$300.00
1678.204556-01	22/03/2016	204556City Subaru	Fleet Vehicle Service	\$299.95
1678.207705-01	22/03/2016	207705Kalmeps Pty Ltd	Dog Assessment & Report: Titan - English	\$298.00
1681.76670-01	30/03/2016	76670Deputy Child Support Registrar	Payroll Deduction PPE 14 & 28/3/2016	\$297.44
1678.21655-01	22/03/2016	21655Digital Telecommunication System	Alarm Maintenance - CPV U53	\$291.50
1678.84314-01	22/03/2016	84314Work Clobber	Work Shoes	\$290.70
1678.201833-01	22/03/2016	201833IPWEA - **WA Only**	WA Membership 2016 x 1	\$286.00
1671.207465-01	08/03/2016	207465Box Corporate	Fruit Deliveries - Feb 2016	\$283.14
1678.203994-01	22/03/2016	203994Soils Aint Soils	Supply Sand for Ops Centre	\$277.00
1671.207713-01	08/03/2016	207713IATA Aust Pty Ltd	Understanding Access & Universal Design	\$275.00
1681.207418-01	30/03/2016	207418P Baker Supperannuation Fund	Payroll Deduction PPE 14 & 28/3/2016	\$273.54
1678.206249-01	22/03/2016	206249ESafe Services Pty Ltd	Ops Centre - Electrical Testing & Tagging	\$269.50
1678.200269-01	22/03/2016	200269Martins Trailer Parts Pty Ltd	Parts for Plant	\$261.78
1678.201876-01	22/03/2016	201876David Gray & Co Pty Ltd	18 x 240Ltr Red Bin Lids	\$257.40
1678.204745-01	22/03/2016	204745Rainscape Waterwise Solutions	Retic Nozzles & Joiners: Gdn Maint	\$250.00
1678.207256-01	22/03/2016	207256Konnect Shop	Nuts & Bolts	\$240.39
1678.204588-01	22/03/2016	204588Western Resource Recovery Pty Ltd	Manning Seniors: Grease Trap Maint - Feb	\$229.90
1671.207482-01	08/03/2016	207482ABA Automatic Gates	Gate Repairs: Civic Centre	\$221.00
1678.207123-01	22/03/2016	207123Mr R Anson	Design Advisory Consult Mtng: 1/3/16	\$220.00
1678.206707-01	22/03/2016	206707Big Sky Entertainment WA Pty Ltd	Angelo St Markets - Entertainment	\$220.00
1678.76259-01	22/03/2016	76259Mr W Hames	Design Advisory Consult Mtng: 1/3/16	\$220.00
1678.207487-01	22/03/2016	207487Motus Architecture	Design Advisory Consult Mtng: 1/3/16	\$220.00
1678.207124-01	22/03/2016	207124Mr T Paterson	Design Advisory Consult Mtng: 1/3/16	\$220.00
1678.201484-01	22/03/2016	201484Perth Cadcentre	Bus Stop Design Drawings: McDougall St	\$220.00
1678.74160-01	22/03/2016	74160Pummells Sparkling Glass	Community Centre Glass Cleaning	\$220.00
1678.84747-01	22/03/2016	84747State Law Publisher	Advertising - TPS6 Amendment 50: Licence	\$208.80
1671.85086-01	08/03/2016	85086St John Ambulance Aust (WA) Inc.	Morning Melodies: First Aid Cover	\$201.30
1671.207712-01	08/03/2016	207712Contemporary Gymnastics Academy	KidSport Grant: Sport 4 All x 1	\$200.00
1678.207024-01	22/03/2016	207024SEM Distribution	Newspapers - 11/1/16 to 7/2/16	\$199.18
1678.25522-01	22/03/2016	25522Mercury Messengers Pty Ltd	Courier Service - Jan 2016 (Infra)	\$197.14
1671.207714-01	08/03/2016	207714ID Fleet Hire	Morning Melodies: Generator Hire	\$192.50
1678.206734-01	22/03/2016	206734WA Mechanical Services	Civic Centre Air Con Repairs	\$189.75
1678.207744-01	22/03/2016	207744Classic Hire	Fiesta Concert 2016: Pedestrian Barrier	\$187.00
1678.76267-01	22/03/2016	76267Daytone Printing	Business Cards	\$181.50
1678.202409-01	22/03/2016	202409GCS Services Pty Ltd	Svce- Hydrotap Units: Planning & Account	\$181.50
1678.201391-01	22/03/2016	201391Refresh Pure Water	Water Bottle Refills	\$180.00
1671.206001-01	08/03/2016	206001Australian Protection Services	Deadly Funny at Cygnet Theatre: Security	\$169.40
1671.207288-01	08/03/2016	207288Tyrecycle Pty Ltd	Disposal of Tyres	\$167.20
1682.207753-01	31/03/2016	207753Ari O Davis	Angelo St Markets: Performance	\$160.00
1678.204248-01	22/03/2016	204248CBC Australia Pty Ltd WA	Seals & Mechanical Leg Puller	\$156.86
1678.203622-01	22/03/2016	203622Harvey Fresh	Milk Supplies	\$152.34
1682.206646-01	31/03/2016	206646Department Of Planning	15 & 17 Eric St: DAP App Fee	\$150.00
1678.207288-01	22/03/2016	207288Tyrecycle Pty Ltd	Tyre Recycling	\$149.60
1671.85049-01	08/03/2016	85049E & MJ Roshier Pty Ltd	Supply & Fit GPS Speed Indicator	\$138.25
1671.207665-01	08/03/2016	207665IQ PC Services Pty Ltd	Printer/Computer Repairs: CPV Residents	\$132.00
1671.200510-01	08/03/2016	200510Totally Workwear - Victoria Park	Protective Work Clothing	\$130.77
1678.201959-01	22/03/2016	201959WA Rangers Association	Notebooks with Covers	\$125.00
1671.207315-01	08/03/2016	207315Finowen Pet Cremations	Disposals x 8	\$120.00
1678.200856-01	22/03/2016	200856Officemart	Bond Paper x 4	\$111.10
1678.85089-01	22/03/2016	85089SAI Global Limited	Australian Standards Copyright AS4122-20	\$101.10

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Creditors

Reference No.	Date	Creditor Payee	Description	Amount
1678.206278-01	22/03/2016	206278Battery World Welshpool	Century Battery	\$95.00
1671.202172-01	08/03/2016	202172Bin Bath Australia Pty Ltd	Bin Cleaning - CPV	\$89.54
1678.83878-01	22/03/2016	83878BOC Gases	Dry Ice Pallets, Container Service	\$82.80
1678.206921-01	22/03/2016	206921Access Technologies WA Pty Ltd	2 x Cables for Gate Repairs	\$79.86
1671.207180-01	08/03/2016	207180Wicked Willow Florist	Flowers for Home Reader Service Voluntee	\$75.00
1671.203752-01	08/03/2016	203752Hillarys Plumbing & Gas	Repairs to Drinking Fountain at Olive Re	\$74.50
1678.205534-01	22/03/2016	205534Superclean	Laundering of Linen	\$72.05
1678.76586-01	22/03/2016	76586CJD Equipment Pty Ltd	PPE Jacket	\$71.23
1678.202872-01	22/03/2016	202872Cabcharge Australia Limited	Cabcharges: Feb 2016	\$66.00
1671.74330-01	08/03/2016	74330Sheridan's for Badges	Freeman of the City Badges: Engraving	\$62.83
1678.204695-01	22/03/2016	204695OfficeMax Australia Ltd	File Spike,CD Case,Flash Drive	\$62.21
1678.203830-01	22/03/2016	203830Hart Sport	Plastic Shuttle Cocks	\$56.50
1671.80788-01	08/03/2016	80788McIntosh & Son WA	Deck Bushes for Plant	\$52.45
1678.205884-01	22/03/2016	205884Ampac Debt Recovery WA Pty Ltd	Debtors Recovery Fees: Feb 2016	\$42.35
1671.207266-01	08/03/2016	207266Beacon Equipment - Bentley	Fuel Pump Connectors	\$41.00
1671.21011-01	08/03/2016	21011Farinosi & Sons Pty Ltd	2 Bags Concrete Crack Filler	\$31.50
1678.206376-01	22/03/2016	206376Ms M Sullivan	Expense Reimbursement	\$25.30
1678.206964-01	22/03/2016	206964Ms F Kabbani	Expense Reimbursement	\$17.50
1678.207630-01	22/03/2016	207630Seed Shed	Supply Seeds	\$12.65
1678.205437-01	22/03/2016	205437Greenline Ag	2 x Towing Pins	\$11.88
1678.207732-01	22/03/2016	207732Shire of Collie	Lost Library Item	\$10.00
1671.83878-01	08/03/2016	83878BOC Gases	Dry Ice Pallets	\$6.38

Total: EFT 448 \$9,508,204.71

30104149	03/03/2016	21476Western Aust Treasury Corp	Loan P & I -225,223,220,227,230	\$105,194.14
30104159	08/03/2016	200691Water Corporation	Water Usage	\$20,641.67
30104264	31/03/2016	83856South Perth Bowling Club	Ticket Machine Takings: March 2016	\$15,597.79
30104263	31/03/2016	200406Perth Zoo	Ticket Machine Takings: March 2016	\$15,085.53
30104184	15/03/2016	205503Mr G Cridland	Dep Myor Allow/Mtng Attend Fee/ IT Allow	\$10,402.50
30104190	22/03/2016	206187Balmoral AEGIS Aged Care	Pension Rebates: 2015/2016	\$9,689.02
30104124	02/03/2016	204906AustralianSuper	Payroll Deduction PPE 1, 15 & 29/2/2016	\$7,952.08
30104260	31/03/2016	22507BCITF	BCITF Levies - March 2016	\$7,733.87
30104261	31/03/2016	206450Building Commission	BS Levies: March 2016	\$7,173.31
30104154	08/03/2016	202971Solar Advantage Pty Ltd	Solar Lighting Inspections & Report	\$7,084.00
30104203	22/03/2016	204989Telstra	Mobile Phone Charges	\$5,919.05
30104224	30/03/2016	204906AustralianSuper	Payroll Deduction PPE 14 & 28/3/2016	\$5,159.26
30104196	22/03/2016	203914Lions Club of South Perth	Partnership Agreement 2015/2016	\$5,000.00
30104126	02/03/2016	205018Catholic Super	Payroll Deduction PPE 1, 15 & 29/2/2016	\$4,552.78
30104188	22/03/2016	84133Alinta	Gas Usage	\$4,011.65
30104202	22/03/2016	204988Telstra	Land Lines: Usage & Equipment - Feb 2016	\$3,990.23
30104226	30/03/2016	205018Catholic Super	Payroll Deduction PPE 14 & 28/3/2016	\$3,171.96
30104138	02/03/2016	204890MIML Super Manager	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,999.20
30104128	02/03/2016	204805Colonial First State FirstChoice	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,881.75
30104125	02/03/2016	205379BT Super For Life	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,789.64
30104142	02/03/2016	204984REST Superannuation	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,595.76
30104123	02/03/2016	206141Australian Super	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,572.30
30104129	02/03/2016	204798HESTA Super Fund	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,418.07
30104231	30/03/2016	205065Host Plus	Payroll Deduction PPE 14 & 28/3/2016	\$2,305.30
30104147	02/03/2016	204873UniSuper Limited	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,202.24
30104119	02/03/2016	205174AMP Life Limited - Flexible Super	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,052.16
30104191	22/03/2016	21545City of South Perth	Sth Perth Tennis Club Redevelopment: Pla	\$2,050.45
30104118	02/03/2016	204977AMP Life Limited - CustomSuper	Payroll Deduction PPE 1, 15 & 29/2/2016	\$2,022.16
30104152	08/03/2016	205986Department Of Transport	Vehicle Search Fees - Jan 2016	\$2,006.65
30104131	02/03/2016	205065Host Plus	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,985.71
30104146	02/03/2016	207691The Trustee for Doran-Wu SMSF	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,932.96
30104136	02/03/2016	207376Local Government Superannuation Sch	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,911.17
30104228	30/03/2016	204805Colonial First State FirstChoice	Payroll Deduction PPE 14 & 28/3/2016	\$1,893.68
30104225	30/03/2016	205379BT Super For Life	Payroll Deduction PPE 14 & 28/3/2016	\$1,889.10
30104139	02/03/2016	205845MLC Nominees Pty Ltd	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,881.81
30104137	02/03/2016	207676Mercer Super Trust	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,843.05
30104134	02/03/2016	206338Larsen Superannuation Fund	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,768.53
30104223	30/03/2016	206141Australian Super	Payroll Deduction PPE 14 & 28/3/2016	\$1,703.58
30104120	02/03/2016	205846AMP Life Ltd-Flexible Lifetime Supe	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,678.39
30104187	22/03/2016	73091Administration Petty Cash	Petty Cash Reimbursement	\$1,635.85
30104238	30/03/2016	204890MIML Super Manager	Payroll Deduction PPE 14 & 28/3/2016	\$1,634.81
30104229	30/03/2016	204798HESTA Super Fund	Payroll Deduction PPE 14 & 28/3/2016	\$1,608.72
30104242	30/03/2016	204984REST Superannuation	Payroll Deduction PPE 14 & 28/3/2016	\$1,601.16
30104153	08/03/2016	207701Immacu Sweep	Sweep Cygnia Cove & All Side Streets	\$1,518.00

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Creditors

Reference No.	Date	Creditor	Payee	Description	Amount
20104130	02/03/2016	73636	Hospital Benefit Fund	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,419.85
20104217	30/03/2016	204977	AMP Life Limited - CustomSuper	Payroll Deduction 14 & 28/3/2016	\$1,348.11
20104135	02/03/2016	202999	Local Gov't Racecourses & Cemeterie	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,332.50
20104218	30/03/2016	205174	AMP Life Limited - Flexible Super	Payroll Deduction PPE 14 & 28/3/2016	\$1,328.66
20104145	02/03/2016	207667	The Jason & Robyn Superannuation Fu	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,294.17
20104133	02/03/2016	207434	IOOF Employer Super	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,290.43
20104246	30/03/2016	207691	The Trustee for Doran-Wu SMSF	Payroll Deduction PPE 14 & 28/3/2016	\$1,288.64
20104239	30/03/2016	205845	MLC Nominees Pty Ltd	Payroll Deduction PPE 14 & 28/3/2016	\$1,259.32
20104257	31/03/2016	21545	City of South Perth	ESL Rebates 2015/2016	\$1,243.46
20104236	30/03/2016	207376	Local Government Superannuation Sch	Payroll Deduction PPE 14 & 28/3/2016	\$1,236.54
20104233	30/03/2016	206338	Larsen Superannuation Fund	Payroll Deduction PPE 14 & 28/3/2016	\$1,179.02
20104151	08/03/2016	206243	Century Settlements	Lot 800 Ray Street: Settlement Fees	\$1,153.20
20104144	02/03/2016	206831	SUPERWRAP - PERSONAL SUPER PLAN	Payroll Deduction PPE 1, 15 & 29/2/2016	\$1,065.30
20104237	30/03/2016	207676	Mercer Super Trust	Payroll Deduction PPE 14 & 28/3/2016	\$1,044.40
20104198	22/03/2016	207742	Neil Barnard	Fiesta Concert 2016: MC	\$1,000.00
20104230	30/03/2016	73636	Hospital Benefit Fund	Payroll Deduction PPE 14 & 28/3/2016	\$941.30
20104232	30/03/2016	207434	IOOF Employer Super	Payroll Deduction PPE 14 & 28/3/2016	\$916.49
20104234	30/03/2016	202999	Local Gov't Racecourses & Cemeterie	Payroll Deduction PPE 14 & 28/3/2016	\$853.01
20104245	30/03/2016	207667	The Jason & Robyn Superannuation Fu	Payroll Deduction PPE 14 & 28/3/2016	\$816.38
20104141	02/03/2016	205977	Recruitment Super	Payroll Deduction PPE 1, 15 & 29/2/2016	\$800.46
20104247	30/03/2016	204873	UniSuper Limited	Payroll Deduction PPE 14 & 28/3/2016	\$752.88
20104244	30/03/2016	206831	SUPERWRAP - PERSONAL SUPER PLAN	Payroll Deduction PPE 14 & 28/3/2016	\$745.25
20104143	02/03/2016	205662	Sunsuper Superannuation Fund	Payroll Deduction PPE 1, 15 & 29/2/2016	\$686.05
20104127	02/03/2016	205969	Cbus	Payroll Deduction PPE 1, 15 & 29/2/2016	\$577.85
20104140	02/03/2016	206200	OnePath Masterfund	Payroll Deduction PPE 1, 15 & 29/2/2016	\$547.42
20104219	30/03/2016	205846	AMP Life Ltd-Flexible Lifetime Supe	Payroll Deduction PPE 14 & 28/3/2016	\$546.02
20104185	16/03/2016	203342	Embroidery WA	Marketplace Merchandise	\$526.63
20104241	30/03/2016	205977	Recruitment Super	Payroll Deduction PPE 14 & 28/3/2016	\$497.54
20104192	22/03/2016	205986	Department Of Transport	Aust Day 2016: Swan River Closure Advert	\$485.06
20104122	02/03/2016	73970	Australian Services Union	Payroll Deduction PPE 1, 15 & 29/2/2016	\$464.40
20104189	22/03/2016	205625	Australia Post	Annual Locked Bag: 1/4/16-31/3/16	\$438.00
20104243	30/03/2016	205662	Sunsuper Superannuation Fund	Payroll Deduction PPE 14 & 28/3/2016	\$415.20
20104262	31/03/2016	21545	City of South Perth	BS Levy & BCITF Retained - March	\$396.75
20104155	08/03/2016	206710	Unlimited Tow & Recovery	Towing of Vehicles	\$396.00
20104227	30/03/2016	205969	Cbus	Payroll Deduction PPE 14 & 28/3/2016	\$385.13
20104150	08/03/2016	204622	Aust Inst of Building Surveyors	Wood Solutions Workshop x 1 Attend	\$360.00
20104240	30/03/2016	206200	OnePath Masterfund	Payroll Deduction PPE 14 & 28/3/2016	\$345.32
20104221	30/03/2016	207736	Asteron Optimum Personal Super	Payroll Deduction PPE 14 & 28/3/2016	\$311.82
20104222	30/03/2016	73970	Australian Services Union	Payroll Deduction PPE 14 & 28/3/2016	\$309.60
20104132	02/03/2016	205198	ING Direct Living Super	Payroll Deduction PPE 1, 15 & 29/2/2016	\$231.79
20104201	22/03/2016	202947	Sensis Pty Ltd	CPGC Yellow Pages - Instal 6/12	\$193.27
20104121	02/03/2016	206723	Asgard Capital Management Limited	Payroll Deduction PPE 1, 15 & 29/2/2016	\$191.19
20104193	22/03/2016	204769	Dux Cafe Restaurant	Australia Day Debrief	\$160.00
20104148	02/03/2016	202589	WA Local Govt Superannuation Plan	Payroll Deduction PPE 1, 15 & 29/2/2016	\$120.00
20104199	22/03/2016	200925	Professional Towing	Truck Towing Fee - Aust Day	\$110.00
20104220	30/03/2016	206723	Asgard Capital Management Limited	Payroll Deduction PPE 14 & 28/3/2016	\$87.16
20104235	30/03/2016	205271	Local Government Super	Payroll Deduction PPE 14 & 28/3/2016	\$87.16
20104248	30/03/2016	202589	WA Local Govt Superannuation Plan	Payroll Deduction PPE 14 & 28/3/2016	\$80.00
20104195	22/03/2016	207027	Mrs T Lampard	Expense Reimbursement	\$47.80
20104194	22/03/2016	203342	Embroidery WA	Embroider Logo on Jacket	\$26.24
20104197	22/03/2016	204837	Mrs F C Nababan	Expense Reimbursement	\$25.30
20104200	22/03/2016	207738	Mrs J Richardson	Expense Reimbursement	\$25.00
20104186	22/03/2016	206659	Adam Greorv	Expense Reimbursement	\$12.95

Total:	Cheque	97	\$327,137.06
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Total:	Creditors	545	\$9,835,341.77
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Non-Creditors

Reference No.	Date	Payee	Description	Amount
00104165	08/03/2016	Savills Project Management	Rfnd Plan Applic Fee -86 Mill Point Rd	\$4,681.80
00181116	11/03/2016	Mrs A Moir	RefundRdResAccBond-38 Birdwood Ave	\$3,000.00
0018100	09/03/2016	Mr B Collie	RefundRdResAccBond-4 Karoo St	\$2,200.00
0018135	22/03/2016	Mr M G Jennison	RefundRdResAccBond-27 Brandon St	\$2,200.00
0018136	22/03/2016	Mrfix Pty Ltd	RefundRdResAccBond-4A Unwin Cres	\$2,200.00
0018159	23/03/2016	Swan River Constructions Pty Ltd	RefundRdResAccBond-37 Hovia Tce	\$2,200.00
00104206	29/03/2016	Applecross Rotary Club	Refund fo Hall Bond: Sth Pth Community Hall 4/3/16	\$1,650.00
00104211	29/03/2016	Michelle Giles	Rfnd Hall/Key Bnd:S/P Comm Hall-12/3/16	\$1,650.00
00104212	29/03/2016	Southern Districts Little Athletics	Rfnd Hall/Key Bnd:S/P Comm Hall-11/3/16	\$1,650.00
00104171	15/03/2016	Adeline Tjahjo	Rfnd Hall/Key Bond- E/J Scout Hall	\$1,635.00
00104252	31/03/2016	WA Pharmacy Students Association Bu	Refund of Hall Bond: Collins St Hall 18/3/16	\$1,635.00
00104258	31/03/2016	D Blusztajn	Refund of Park Restoration Bond: SJMP 13/3/16	\$1,620.00
00104170	15/03/2016	Rutendo G Mugabe	Rfnd Hall/Swipe Card Bond- S/P Commun Hall	\$1,534.60
00104210	29/03/2016	Reid International Pty Ltd Trustee	2/76 Mill Point Rd.:Rfnd Overpayment	\$1,322.78
00104181	15/03/2016	Mr P D Johnson & CX Transport Pty L	Refund Rates, Interim Adjustment	\$1,184.45
0018079	09/03/2016	Leeda Projects	RefundRdResAccBond-101 Thelma St	\$1,100.00
0018096	09/03/2016	Westdale Constructions Pty Ltd	RefundRdResAccBond-73 Clydesdale St	\$1,100.00
0018112	11/03/2016	Cooktown Constructions (2005) Pty L	RefundRdResAccBond-40 Coode St	\$1,100.00
0018115	11/03/2016	Cooktown Constructions P/L	RefundRdResAccBond-101 Thelma St	\$1,100.00
0018154	22/03/2016	Ibex Commercial Interiors	RefundRdResAccBond-8/31-39 Walanna Dr	\$1,100.00
0018165	31/03/2016	Shape Australia Pty Ltd	Refund RdReserveAccess Bd -26 Dick Perry	\$1,100.00
0018166	31/03/2016	Penrhos College	Refund RdReserveAccess Bond - 101 Thelma	\$1,100.00
00104173	15/03/2016	Rebecca Hartley	Rfnd Park Restoration Bnd SJMP Zn 12	\$1,080.00
00104205	29/03/2016	Elise Richardson	Refund of Park Restoration Bond: SJMP 5/3/16	\$1,080.00
00104251	31/03/2016	Roshni Amba 23 Belfast Street	Refund of Community Hall Bond: 25-26/3/16	\$950.00
00104259	31/03/2016	Norm Sims	24 Wattle St: Verge Tree Removal	\$874.50
00104161	08/03/2016	Ian Hutchinson Real Estate	Refund Overpayment, Rates	\$796.45
00104176	15/03/2016	Mrs Trinity Herbert	6 Bruning Street - Crossing Subsidy	\$770.64
0018097	09/03/2016	Mr P M Berryman	RefundRdResAccBond-1/196 Coode St	\$700.00
00104175	15/03/2016	Paul & Geraldine Lanyon	19 Kennard St - Crossing Subsidy	\$652.74
00104255	31/03/2016	Ridgeline Developments Pty Ltd	Crossover Subsidy: 49B Eric St	\$607.34
00104256	31/03/2016	Mr Triston Overmars	Crossover Subsidy: 31 Goss Ave	\$580.14
00104163	08/03/2016	Kimberley Bloor	Rfnd Park Rest Bond - SJMP Zn 12	\$540.00
00104164	08/03/2016	Dave Ritchie	Rfnd Park Rest Bond - SJMP Zn 9	\$540.00
00104172	15/03/2016	Katherine Navarro	Rfnd Park Restoration Bnd SJMP Zn 5	\$540.00
00104207	29/03/2016	RAC Insurance Pty Ltd	Refund of Park Restoration Bond: 4/3/16	\$540.00
00104253	31/03/2016	Jessica Dean	Refund of Park Restoration Bond: SJMP 19/3/16	\$540.00
00104254	31/03/2016	B Vallenge	Refund of Park Restoration Bond: EJ Oval 20/3/16	\$540.00
0018073	09/03/2016	Dynamic Corporation	RefundRdResAccBond-48 Strickland	\$500.00
0018074	09/03/2016	Desique Homes	RefundRdResAccBond-70 Edgecumbe St	\$500.00
0018075	09/03/2016	Mr B Collie	RefundRdResAccBond-16 Glasnevin Court	\$500.00
0018076	09/03/2016	Exclusive Pools Pty Ltd	RefundRdResAccBond-12 Craigie Cr	\$500.00
0018077	09/03/2016	Goodwill Homes	RefundRdResAccBond-46 Lansdowne	\$500.00
0018078	09/03/2016	Mr T Burd	RefundRdResAccBond-3 Henley Cr	\$500.00
0018080	09/03/2016	Dyson Pools Pty Ltd	RefundRdResAccBond-10 Anketell St	\$500.00
0018081	09/03/2016	Gavin Murton Pty Ltd	RefundRdResAccBond-2/47 Pether Rd	\$500.00
0018082	09/03/2016	Mr D J Matthews	RefundRdResAccBond-79 Arlington	\$500.00
0018083	09/03/2016	The Agland Family Superannuation Fu	RefundRdResAccBond-48 Axford St	\$500.00
0018084	09/03/2016	Mr E Evangelista	RefundRdResAccBond-19 Norfolk St	\$500.00
0018085	09/03/2016	Mr S Pagana	RefundRdResAccBond-26A Sulman Ave	\$500.00
0018086	09/03/2016	Ms B A O'Connor	RefundRdResAccBond-79B Welwyn Ave	\$500.00
0018087	09/03/2016	Mr C Sweeting	RefundRdResAccBond-2B Axford St	\$500.00
0018088	09/03/2016	Marie McCrystal Jones	RefundRdResAccBond-70B Edgecumbe	\$500.00
0018089	09/03/2016	Mrs N A Williams	RefundRdResAccBond-8 Victoria St	\$500.00
0018090	09/03/2016	Mr M A Barnes	RefundRdResAccBond-12 Brittain St	\$500.00
0018091	09/03/2016	Mr P E Dawson	RefundRdResAccBond-98 Labouchere	\$500.00
0018092	09/03/2016	Pirone Builders	RefundRdResAccBond-4/51 South Perth Esp	\$500.00
0018093	09/03/2016	Homes Group WA	RefundRdResAccBond-11 Morrison St	\$500.00
0018094	09/03/2016	Ms M English	RefundRdResAccBond-59A Axford St	\$500.00
0018095	09/03/2016	Bellissimo Homes	RefundRdResAccBond-19 King St	\$500.00
0018098	09/03/2016	Mrs A J Gryguc	RefundRdResAccBond-14 McDonald St	\$500.00
0018099	09/03/2016	Summit Group Homes	RefundRdResAccBond-23 Westland Pl	\$500.00
0018101	09/03/2016	Libby Browne	RefundRdResAccBond-45 Hobbs Ave	\$500.00
0018102	09/03/2016	Mr R D Pears	RefundRdResAccBond-51A Edgecumbe	\$500.00
0018103	10/03/2016	City of South Perth	RefundRdResAccBond-56B Robert St	\$500.00
0018104	11/03/2016	Mark Thompson Constructions Pty Ltd	RefundRdResAccForm-36 Renwick St	\$500.00
0018105	11/03/2016	Air Roofing Co	RefundRdResAccBond-44 River Way	\$500.00
0018106	11/03/2016	Rainer C Gillich	RefundRdResAccBond-8 Hamlin Rise	\$500.00
0018107	11/03/2016	M A Barnes	RefundRdResAccBond-12 Brittain St	\$500.00
0018108	11/03/2016	Mr A & J Rapattoni	RefundRdResAccBond-38 Sandgate St	\$500.00
0018109	11/03/2016	Mr T G Noske	RefundRdResAccBond-15 Vista St	\$500.00

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Non-Creditors

Reference No.	Date	Payee	Description	Amount
00018110	11/03/2016	Gaurdian Industries	RefundRdResAccBond-32 Henning Cres	\$500.00
00018111	11/03/2016	Dale Alcock Home Improvement	RefundRdResAccBond-31 Goss Ave	\$500.00
00018113	11/03/2016	Dale Alcock Homes	RefundRdResAccBond-21 Todd Ave	\$500.00
00018114	11/03/2016	Cooktown Constructions Pty Ltd	RefundRdResAccBond-5 King St	\$500.00
00018117	11/03/2016	Mr S J Hoey	RefundRdResAccBond-43 Sulman Ave	\$500.00
00018118	11/03/2016	Oasis Patios	RefundRdResAccBond-2/44 Brandon St	\$500.00
00018119	16/03/2016	Ms T F Cameron	RefundRdResAccBond-54B Birdwood	\$500.00
00018120	16/03/2016	Sue Ball	RefundRdResAccBond-23 Monash Ave	\$500.00
00018121	16/03/2016	Mrs S C Nixon	RefundRdResAccBond-36 Thelma	\$500.00
00018122	16/03/2016	Whyte Constructions Pty Ltd	RefundRdResAccBond-15 Monk St	\$500.00
00018123	16/03/2016	L Truong	RefundRdResAccBond-59 Coode St	\$500.00
00018124	16/03/2016	Dr F Gabba	RefundRdResAccBond-37 Carr St	\$500.00
00018125	16/03/2016	Minchin & Sims Pty Ltd	RefundRdResAccBond-101 Monash Dr	\$500.00
00018126	16/03/2016	P & S Brooks	RefundRdResAccBond-107 Brandon St	\$500.00
00018128	16/03/2016	Wandoo Building Company	RefundRdResAccBond-59A Axford St	\$500.00
00018129	16/03/2016	Perth Demolition Company	RefundRdResAccBond-24 Monash Ave	\$500.00
00018130	16/03/2016	Perth Demolition Company	RefundRdResAccBond-74 Douglas Ave	\$500.00
00018131	16/03/2016	Perth Demolition Company	RefundRdResAccBond-18 Wooltana St	\$500.00
00018132	16/03/2016	Ms G A Stone	RefundRdResAccBond-72 Arlington Ave	\$500.00
00018133	16/03/2016	P & S Brooks	RefundRdResAccBond-107 Brandon St	\$500.00
00018134	22/03/2016	Barrier Reef Pools	RefundRdResAccBond-37 Pepler Ave	\$500.00
00018137	22/03/2016	Mrs A C Byfield	RefundRdResAccBond-22A Brandon St	\$500.00
00018138	22/03/2016	Great Aussie Patios	RefundRdResAccBond-3/70 Strickland St	\$500.00
00018139	22/03/2016	Mrs N Devine	RefundRdResAccBond-33 Bradshaw Cres	\$500.00
00018140	22/03/2016	Novus Homes	RefundRdResAccBond-94A Ryrie Ave	\$500.00
00018141	22/03/2016	Stannard Group Pty Ltd	RefundRdResAccBond-17 Anthus Cnr	\$500.00
00018142	22/03/2016	Bello Enterprises Pty Ltd	RefundRdResAccBond-30 Vista St	\$500.00
00018143	22/03/2016	Ms P Y Cheng	RefundRdResAccBond-5 Hobbs Ave	\$500.00
00018144	22/03/2016	Genesis Homes Master Builders Pty L	RefundRdResAccBond-6 Challenger Ave	\$500.00
00018145	22/03/2016	Ozceil Projects Pty Ltd	RefundRdResAccBond-13 Campbell St	\$500.00
00018146	22/03/2016	Ms D J Lim	RefundRdResAccBond-40 Griffin Cres	\$500.00
00018147	22/03/2016	Mr D F Dyson	RefundRdResAccBond-315 Mill Point Rd	\$500.00
00018148	22/03/2016	Mrs M L Terri	RefundRdResAccBond-22 Jubilee St	\$500.00
00018149	22/03/2016	Nardi Constructions	RefundRdResAccBond-140 Labouchere Rd	\$500.00
00018150	22/03/2016	Artique Homes	RefundRdResAccBond-6 Fifth Ave	\$500.00
00018151	22/03/2016	Mr J W Tribe	RefundRdResAccBond-2/1(1A) Griffin	\$500.00
00018152	22/03/2016	Wilkon Building Services	RefundRdResAccBond-62 Dyson St	\$500.00
00018153	22/03/2016	Metrowest Constructions Pty Ltd	RefundRdResAccBond-64 Lansdowne Rd	\$500.00
00018155	22/03/2016	Gemmill Homes Pty Ltd	RefundRdResAccBond-71 Dyson St	\$500.00
00018157	23/03/2016	Norman Sims Construction Pty Ltd	RefundRdResAccBond-4A Baldwin	\$500.00
00018158	23/03/2016	Norman Sims Construction Pty Ltd	RefundRdResAccBond-4B Baldwin St	\$500.00
00018160	23/03/2016	Mr A J Ramshaw	RefundRdResAccBond-7 Jubilee St	\$500.00
00018161	23/03/2016	Bevan & Jenny King	RefundRdResAccBond-5 Finchaven St	\$500.00
00018162	23/03/2016	APG Homes Pty Ltd	RefundRdResAccBond-4 Egretta Dr	\$500.00
00018163	31/03/2016	Dale Alcock Homes	Refund RdReserveAccess Bond - 38 Angelo	\$500.00
00018164	31/03/2016	Mr M Petrich	Refund RdReserveAccess Bond - 55 Mill Pt	\$500.00
00018167	31/03/2016	Ridgeline Developments Pty Ltd	Refund RdReserveAccess Bond - 49B Eric	\$500.00
00018168	31/03/2016	Mr A W Harry	Refund RdReserveAccess Bd-44a Letchworth	\$500.00
00018169	31/03/2016	Mr A W Harry	Refund RdReserveAccess Bd-44B Letchworth	\$500.00
00018170	31/03/2016	Prime Built Patios Pty Ltd	Refund RdReserveAccess Bond - 37B Downey	\$500.00
00018170	29/03/2016	The Redeemed Christian Church of Go	Rfnd Hall/Key Bonds: S/P Community Hall	\$480.00
00018170	29/03/2016	Mr Simon Woods	Refund of Incorrect Rates Payment	\$477.97
00018170	29/03/2016	Ms C E Shelley	Refund Overpayment, Rates	\$391.61
00018170	15/03/2016	Mr Amir Akhmadeev	Indiv Fnd Grnt: Internat Ice Hockey Ch/ships	\$300.00
00018170	15/03/2016	Ms Olivia Naven	Indiv Fnd Grnt: Internat Friendship Games	\$300.00
00018170	29/03/2016	Mr Aaron Yong	133-135 Canning Hwy:Rfnd Plan App Fee	\$295.00
00018170	15/03/2016	M R & N K Howe	Refund of Overpaid Rates: 13 Saunders St	\$278.41
00018170	08/03/2016	Kristian Anderson C/- Venture Outdo	Refund Of Building Permit: 56B Robert St	\$266.65
00018170	15/03/2016	Mr Alan Sands	Indiv Fnd Grnt: Aust Croquet Ch/ships	\$200.00
00018170	15/03/2016	Mr Luke Burrows	Indiv Fnd Grnt: WA Triathlon Ch/ships	\$200.00
00018170	16/03/2016	Tangent Nominees Pty Ltd	RefundRdResAccBond-2 Cygnus Pde	\$200.00
00018170	22/03/2016	Gemmill Home Improvements	RefundRdResAccBond-71 Dyson St	\$200.00
00018170	31/03/2016	Mr Zak Dempsey 49 Redmond Street	Ind Development Grant: Volleyball WA	\$200.00
00018170	31/03/2016	Midas Business Services	Refund of Library Function Room Hire 7/4/16	\$192.50
00018170	15/03/2016	Adele Scarfone	Expense Reimbursement	\$79.90
00018170	15/03/2016	Mr Ashwin Ramdas	Refund Planning Application: 18/171 Labouchere Rd	\$73.00
00018170	29/03/2016	Grandwood By Zorzi	30 Swanview Tce: Refund of Overpaid Verge	\$67.20
00018170	15/03/2016	Visionre Real Estate	Overpayment Rates	\$56.61
00018170	15/03/2016	Aru Natchimuthoo	Rfnd Archive Search -95 Ryrie	\$50.00
00018170	08/03/2016	Porter Commercial	Overpayment Rates Assess 179196	\$47.42
00018170	15/03/2016	Nexus Home Improvements	Overpaid B/S Levy: 39B Bessell	\$40.50

Payment Listing
Payments between
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Non-Creditors

Reference No.	Date	Payee	Description	Amount
00104213	29/03/2016	Ben Trager Homes	L/129 McNess: Fees Overpayment	\$18.00
00104160	08/03/2016	Ms P A Roe	Partial Rfnd Dog Regn	\$17.20
00104214	29/03/2016	Boardwalk Pools	57 Hobbs: Overpayment BCITF Fees	\$13.27
Total: Cheque				145 \$95,340.68

Total: Non-Creditors 145 \$95,340.68

Grand Total: 690 \$9,930,682.45

BUDGET REVIEW AFTER 31 MARCH 2016 MANAGEMENT ACCOUNTS

Amendments identified in the Quarterly Budget Review from normal operations

Ledger Account	Account Description	Item Type		Current Budget	Amended Budget	Increase Surplus	Decrease Surplus	Justification for the Amendment
1050.3521	Admin Centre Utilities	Exp	↓	200,000	170,000	30,000		Lower usage of power.
1306.1710	Corporate Data Services	Exp	↑	125,000	185,000		60,000	Adding new online data services to existing data services.
3015.1901	Governance Salaries	Exp	↓	701,982	641,982	60,000		Transfer to different cost centre in the same department.
2132.1901	Marketing & Communications Salaries	Exp	↑	357,661	417,661		60,000	
2206.0413	Dog Licenses	Rev	↑	60,000	67,000	7,000		Higher than budgeted revenue.
2233.0409	Meter Parking	Rev	↓	1,000,000	975,000		25,000	Slightly less than anticipated collections.
2233.0440	Asset Disposal Proceeds	Rev	↑	24,000	37,500	13,500		Vehicle trade-in deferred from last year.
1046.0431	Investment Revenue - Muni Fund	Rev	↓	700,000	650,000		50,000	Very low investment returns available at present.
1046.0435	Investment Revenue - Reserves	Rev	↓	1,726,121	1,676,121		50,000	Very low investment returns available at present.
1103.0012	Legal / Collection Cost Recovered	Rev	↑	50,000	65,000	15,000		Higher than anticipated activity level.
1047.2835	Loan Interest - City Loans	Exp	↓	350,685	235,685	115,000		City borrowings now not required until June.
3326.1705	Planning - Postage	Exp	↑	12,500	22,500		10,000	Consequential impact of more consultation.
3326.3835	Heritage Assessments	Exp	↓	80,000	0	80,000		Will not be progressed this year.
3134.0471	Materials on Verge	Rev	↑	65,000	90,000	25,000		Greater level of construction activity.
2133.0108	Fiesta Grants & Sponsorship	Rev	↓	50,000	25,000		25,000	Anticipated sponsorship did not eventuate.
4034.0355	Parks - Casual Ground Hire	Rev	↓	110,000	80,000		30,000	No major external event ground hire this year.
3235.0499	Env Management Misc Revenue	Rev	↑	0	5,000	5,000		Unbudgeted small grant.
4236.2500.30	Plant Nursery Operations	Exp	↑	240,000	260,000		20,000	Resolution of workers compensation claim.
4909.2500.30	Wetland Maintenance	Exp	↓	280,000	230,000	50,000		Re-distribution amongst cost centres.
3025.1901	Environmental Services	Exp	↑	199,457	249,457		50,000	Re-distribution amongst cost centres.
4305.4500.30	Civic Hall Maintenance	Exp	↑	35,000	70,000		35,000	Remedial work to floor and internal painting.
4991.0452	Crossover Revenue	Rev	↑	75,000	85,000	10,000		Higher level of activity.
4992.1500.30	Crossover Expenditure	Exp	↑	115,000	125,000		10,000	Costs associated with revenue above.
5995.0421	Contributions - Parks	Rev	↑	0	20,000	20,000		Contribution to Hobbs Ave Works
5995.0426	Contribution - Roadworks	Rev	↑	0	10,000	10,000		MRD contribution to Thelma St / Canning H.Way
5995.0499	Road Reserve Inspection Fee	Rev	↑	40,000	60,000	20,000		Higher than budgeted volume.
1050.3622	Cleaning - Admin Buildings	Exp	↑	74,000	80,000		6,000	Slightly higher requirement than anticipated.
2331.3622	Cleaning - Civic Library	Exp	↑	45,000	52,000		7,000	Slightly higher requirement than anticipated.
5573.1500.30	Renwick St (Sandgate - Parsons)	Exp	↑	125,000	160,000		35,000	Project completed with increased scope.
5586.1500.30	Marsh Ave (Parsons - Griffin)	Exp	↓	235,000	185,000	50,000		Project completed under budget.
5591.1500.30	Jubilee St (Douglas - weston)	Exp	↓	185,000	135,000	50,000		Project completed under budget.
5592.1500.30	Roebuck (Edgewater - Mt Henry)	Exp	↑	210,000	250,000		40,000	Project completed with increased scope.
5593.1500.30	Alston Ave (Canning - Labouchere)	Exp	↑	125,000	150,000		25,000	Project completed with increased scope.

BUDGET REVIEW AFTER 31 MARCH 2016 MANAGEMENT ACCOUNTS

Amendments identified in the Quarterly Budget Review from normal operations

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BUDGET REVIEW AFTER 31 MARCH 2016 MANAGEMENT ACCOUNTS

Amendments identified in the Quarterly Budget Review involving transfers of funds to or from Reserves

Ledger Account	Account Description	Item Type		Current Budget	Amended Budget	Increase Surplus	Decrease Surplus	Justification for the Amendment
6306.1500.30	Millers Pool	Exp	↓	2,500,000	500,000	2,000,000		Returned to Reserve - to be redrawn in 2016?2017
1045.9917	Transfer from Major Facilities Res.	Trans		(13,615,000)	(11,615,000)		2,000,000	Related transfer of funds from Reserve.
9917.7802	Transfer to Muni Fund	Trans		13,615,000	11,615,000			Related transfer of funds from Reserve.
2419.0201	CPV Maintenance Fees	Rev	↓	677,680	665,680		12,000	Re-distributing between revenue centres.
2419.0207	CPV Rental income	Rev	↑	225,200	237,200	12,000		Re-distributing between revenue centres.
2419.0435	CPV Reserve Interest	Rev	↓	54,963	42,963		12,000	Very low interest rates at present.
2420.3628	CPV Sanitation Costs	Exp	↓	43,000	39,000	4,000		Was slightly over-budgeted for number of services.
2420.2842	Gardens Maintenance	Exp	↓	282,694	257,694	25,000		More effective management of expenditures.
9923.7802	Transfer to Muni Fund	Trans		731,376	714,376	-		Related transfer of funds from Reserve.
1045.9923	Transfer from CPV Reserve	Trans		(731,376)	(714,376)		17,000	Related transfer of funds from Reserve.
3421.0253	Transfer Station Entry Fees	Rev	↓	215,000	200,000		15,000	Less than anticipated number of entries.
3451.0252	Recycling Charges	Rev	↑	1,311,232	1,321,232	10,000		Higher than budgeted number of services
3472.3931	H.Hold Waste Site Charges	Exp	↑	1,885,000	1,935,000		50,000	Higher than anticipated tonnages.
3472.3932	Cleanaway H.Hold Waste Charges	Exp	↓	1,170,000	1,120,000	50,000		Redistributed between cost centres.
4222.3931	Transfer Station Site Charges	Exp	↑	55,000	105,000		50,000	Redistributed between cost centres.
8954.5831	Transfer Station Redevelopment	Exp	↑	0	50,000		50,000	Residual work from previous year.
1044.9912	Transfer to Waste Reserve	Trans		516,139	411,139	105,000		Related Reserve transfers.
9912.7801	Transfer from Muni Fund	Trans		(418,225)	(313,225)		-	Related Reserve transfers.
0429.0351	CPGC - Pro Shop Rental	Rev	↓	195,700	177,700		18,000	Revise lease took affect later than budgeted.
0429.0440	CPGC - Asset Sale Proceeds	Rev	↑	21,940	34,940	13,000		Deferred vehicle trade-in now completed.
0429.0455	CPGC - Green Fees	Rev	↓	2,525,000	2,475,000		50,000	Slightly lower than projected fee revenue.
1044.9911	Transfer to CPGC Reserve	Trans		768,684	713,684	55,000		Related Reserve transfers.
9911.7801	Transfer from Muni Fund	Trans		(418,225)	(363,225)		-	Related Reserve transfers.
						2,274,000	2,274,000	
	Net Increase (decrease) to Muni Surplus						0	

BUDGET REVIEW AFTER 31 MARCH 2016 MANAGEMENT ACCOUNTS

Amendments identified in the Quarterly Budget Review involving cost neutral re-allocations and non cash items not affecting the Surplus

Ledger Account	Account Description	Type		Current Budget	Amended Budget	Increase Surplus	Decrease Surplus	Justification for the Amendment
8703.5831	IT Acquisitions	Exp	↓	230,000	175,000	55,000		Re-allocated to reflect accounting disclosures.
8708.5831	EDMS System	Exp	↓	10,000	0	10,000		Work not required this year.
8758.5831	CRM workflow Development	Exp	↓	75,000	50,000	25,000		Reduced scope of works.
8761.5831	Manning Hub Server Room / DR Site.	Exp	↑	200,000	290,000		90,000	To facilitate full Disaster Recovery Site and technology requirements for Hub technology.
	Non Cash Items							
2234.5850	Asset Carrying Amount	Exp	↑	0	17,500		-	Deferred vehicle trade-in book value.
0205.5915	Depreciation - Elected Members	Exp		60,000	48,000	-		Consequence of building fair value revaluation.
1306.5915	Depreciation - Info Services	Exp		150,000	160,000		-	Consequence of building fair value revaluation.
2234.5915	Depreciation - Parking	Exp		85,000	95,000		-	Consequence of building fair value revaluation.
2420.5915	Depreciation - CPV	Exp		492,500	545,000		-	Consequence of building fair value revaluation.
2681.5915	Depreciation - Halls	Exp		155,000	195,000		-	Consequence of building fair value revaluation.
4501.5915	Depreciation - Rec & Parks	Exp		640,000	620,000	-		Consequence of asset fair value revaluation.
4906.5915	Depreciation - Road Plant	Exp		300,000	240,000	-		Consequence of asset fair value revaluation.
4910.5915	Depreciation - Parks	Exp		1,100,000	1,175,000		-	Consequence of asset fair value revaluation.
4912.5915	Depreciation - Roads, Paths, Drains	Exp		4,750,000	5,025,000		-	Consequence of asset fair value revaluation.
						90,000	90,000	
	Net Increase (Decrease) to Muni Surplus						-	

